

ROELAND PARK

MIXED-USE DEVELOPMENT
EPC REAL ESTATE GROUP
PRELIMINARY DEVELOPMENT PLAN

10.04.2022

REVISED ON
11.01.2022



DEVELOPER
EPC REAL ESTATE GROUP
8001 METCALF AVE. SUITE #300
OVERLAND PARK, KS 66204
913-722-2600

ARCHITECT
DLR GROUP
7290 W. 133RD ST
OVERLAND PARK, KS 66213
913-897-7811

CIVIL ENGINEER
KIMLEY HORN
805 PENNSYLVANIA AVENUE,
SUITE 150
KANSAS CITY, MO 64105
816-652-0350

LANDSCAPE ARCHITECT
RICHARD CLAYTON BARRETT
913-522-4259

MEP ENGINEER
SMITH & BOUCHER, INC.
25618 W 103RD ST
OLATHE, KS 66061
913-345-2127

SHEET LIST

- C1 EXISTING CONDITIONS
- C2 SITE PLAN
- C3 GRADING PLAN
- EX1 FIRE TRUCK TURNING EXHIBIT
- L1.0 LANDSCAPE PLAN
- E1.0 PHOTOMETRIC PLAN
- A1.1 ARCHITECTURAL FLOOR PLANS
- A1.2 ARCHITECTURAL FLOOR PLANS
- A1.3 ARCHITECTURAL FLOOR PLANS
- A1.4 ARCHITECTURAL FLOOR PLANS
- A4.1 ARCHITECTURAL ELEVATIONS
- A4.2 ARCHITECTURAL RENDERINGS



LEGAL DESCRIPTION

PER FIRST AMERICAN TITLE INSURANCE COMPANY, LLC.
 COMMITMENT NUMBER: NCS-1107019-OMHA
 EFFECTIVE DATE: JANUARY 04, 2022, AT 8:00 A.M.

TRACT 1:

ALL THAT PART OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 AND THAT PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 4, TOWNSHIP 12, RANGE 25, JOHNSON COUNTY, KANSAS, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 4, THENCE NORTH 18° 09' 30" WEST ALONG THE KANSAS HIGHWAY RIGHT-OF-WAY, A DISTANCE OF 155.52 FEET TO THE TRUE POINT OF BEGINNING OF THE TRACT HEREIN TO BE DESCRIBED, THENCE NORTH 18° 09' 30" WEST ALONG SAID RIGHT-OF-WAY, A DISTANCE OF 135.48 FEET; THENCE NORTH 43° 15' 30" WEST ALONG SAID RIGHT-OF-WAY, A DISTANCE OF 330 FEET; THENCE NORTH 45° 42' 10" EAST, A DISTANCE OF 269.38 FEET; THENCE NORTH 80° 36' EAST, A DISTANCE OF 374 FEET TO A POINT IN THE WESTERLY RIGHT-OF-WAY OF ROE BOULEVARD AS SAID BOULEVARD NOW EXISTS; THENCE SOUTH 09° 29' EAST, ALONG SAID RIGHT-OF-WAY, A DISTANCE OF 623.37 FEET; THENCE DUE WEST AND PARALLEL TO THE SOUTH LINE OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 4, A DISTANCE OF 399.19 FEET TO THE POINT OF BEGINNING, EXCEPT THAT PART IN STREETS AND ROADS, AND EXCEPT:

A PARCEL OF GROUND SITUATED IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 4, TOWNSHIP 12 SOUTH, RANGE 25 EAST, IN JOHNSON COUNTY, KANSAS, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID QUARTER QUARTER SECTION; THENCE NORTH 17° 31' 08" WEST, ALONG THE EASTERLY RIGHT-OF-WAY OF 18TH STREET EXPRESSWAY, AS ESTABLISHED AUGUST 31, 1956, BY A DEED FOR STREET AND HIGHWAY PURPOSES, FILED IN THE JOHNSON COUNTY REGISTER OF DEEDS OFFICE IN BOOK 389, PAGES 335-342, A DISTANCE OF 155.52 FEET; THENCE SOUTH 89° 21' 39" EAST AND PARALLEL WITH THE SOUTH LINE OF SAID QUARTER QUARTER SECTION, A DISTANCE OF 208.33 FEET, TO THE TRUE POINT OF BEGINNING OF THE TRACT HEREIN; DESCRIBED: THENCE NORTH 40° 05' 53" EAST, A DISTANCE OF 68.07 FEET; THENCE ON A CURVE TO THE RIGHT, TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 215.00 FEET, AN ARC DISTANCE OF 137.05 FEET; THENCE SOUTH 54° 46' 51" EAST, A DISTANCE OF 17.73 FEET, TO A POINT ON THE WESTERLY RIGHT-OF-WAY OF ROE BOULEVARD AS SAID BOULEVARD NOW EXISTS; THENCE SOUTH 08° 49' 38" EAST, ALONG SAID RIGHT-OF-WAY, A DISTANCE OF 20.86 FEET; THENCE SOUTH 53° 31' 37" WEST, A DISTANCE OF 138.20 FEET; THENCE SOUTH 40° 01' 22" WEST, A DISTANCE OF 13.83 FEET; THENCE NORTH 89° 21' 39" WEST, AND PARALLEL WITH THE SOUTH LINE OF SAID QUARTER QUARTER SECTION, A DISTANCE OF 56.18 FEET, TO THE TRUE POINT OF BEGINNING, AND EXCEPT:

A PARCEL OF GROUND SITUATED IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 4, TOWNSHIP 12 SOUTH, RANGE 25 EAST, IN JOHNSON COUNTY, KANSAS, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID QUARTER QUARTER SECTION; THENCE NORTH 17° 31' 08" WEST, ALONG THE EASTERLY RIGHT-OF-WAY OF 18TH STREET EXPRESSWAY, AS ESTABLISHED AUGUST 31, 1956, BY A DEED FOR STREET AND HIGHWAY PURPOSES, FILED IN THE JOHNSON COUNTY REGISTER OF DEEDS OFFICE IN BOOK 389, PAGES 335-342, A DISTANCE OF 155.52 FEET; THENCE SOUTH 89° 21' 39" EAST, AND PARALLEL WITH THE SOUTH LINE OF SAID QUARTER QUARTER SECTION, A DISTANCE OF 264.51 FEET, TO THE TRUE POINT OF BEGINNING OF THE TRACT HEREIN; DESCRIBED: THENCE NORTH 40° 01' 22" EAST, A DISTANCE OF 13.83 FEET; THENCE NORTH 53° 31' 37" EAST, A DISTANCE OF 138.20 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY OF ROE BOULEVARD AS SAID BOULEVARD NOW EXISTS; THENCE SOUTH 08° 49' 38" EAST ALONG SAID RIGHT-OF-WAY, A DISTANCE OF 95.38 FEET; THENCE NORTH 89° 21' 39" WEST AND PARALLEL TO THE SOUTH LINE OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 4, A DISTANCE OF 134.68 FEET TO THE TRUE POINT OF BEGINNING, EXCEPT ANY PART USED OR DEDICATED FOR STREETS, ROADS OR PUBLIC RIGHT OF WAY.

TRACT 2:

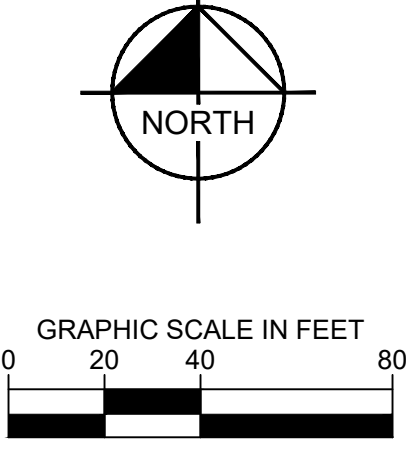
A TRACT OF LAND IN THE NORTH ONE-HALF (N 1/2) OF THE NORTH ONE-HALF (N 1/2) OF SECTION 4, TOWNSHIP 12 SOUTH (T12S), RANGE 25 EAST (R25E), CITY OF ROELAND PARK, JOHNSON COUNTY, KANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 4, TOWNSHIP 12 SOUTH (T12S), RANGE 25 EAST (R25E), CITY OF ROELAND PARK, JOHNSON COUNTY, KANSAS; THENCE NORTH 18 DEGREES 09 MINUTES 30 SECONDS WEST ON THE EASTERLY RIGHT-OF-WAY-LINE OF THE 18TH STREET EXPRESSWAY, AS NOW ESTABLISHED, 36.86 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTH 18 DEGREES 09 MINUTES 30 SECONDS WEST ON SAID RIGHT-OF-WAY LINE, 119.59 FEET TO A POINT; THENCE SOUTH 89 DEGREES 01 MINUTES 38 SECONDS EAST ON A LINE PARALLEL TO THE SOUTH LINE OF SAID NORTHWEST ONE-QUARTER (NW 1/4) OF THE NORTHEAST ONE-QUARTER (NE 1/4) OF SECTION 4, TOWNSHIP 12 SOUTH (T12S), RANGE 25 EAST (R25E), 134.58 FEET TO A POINT; THENCE SOUTH 40 DEGREES 20 MINUTES 06 SECONDS WEST, 107.31 FEET TO A POINT OF CURVATURE; THENCE SOUTHWESTERLY ON A CURVE TO THE RIGHT HAVING A RADIUS OF 394.89 FEET, 40.61 FEET TO THE TRUE POINT OF BEGINNING.

EXCEPT THAT PART DEDICATED FOR PUBLIC STREET BY BOOK 4140 AT PAGE 334.

AND EXCEPT ANY OTHER PART USED OR DEDICATED FOR STREETS, ROADS AND PUBLIC RIGHTS OF WAY.

THE ABOVE TRACTS TO BE PLATTED AS THE ROCKS, A SUBDIVISION IN THE CITY OF ROELAND PARK, JOHNSON COUNTY, KANSAS.



NOT FOR CONSTRUCTION

Kimley-Horn
 900 FRANCIS AVENUE, SUITE 1700
 KANSAS CITY, MO 64105
 WWW.KIMLEY-HORN.COM
 PROJECT NUMBER: 12-22109-00
 EXPIRES: 12/31/21

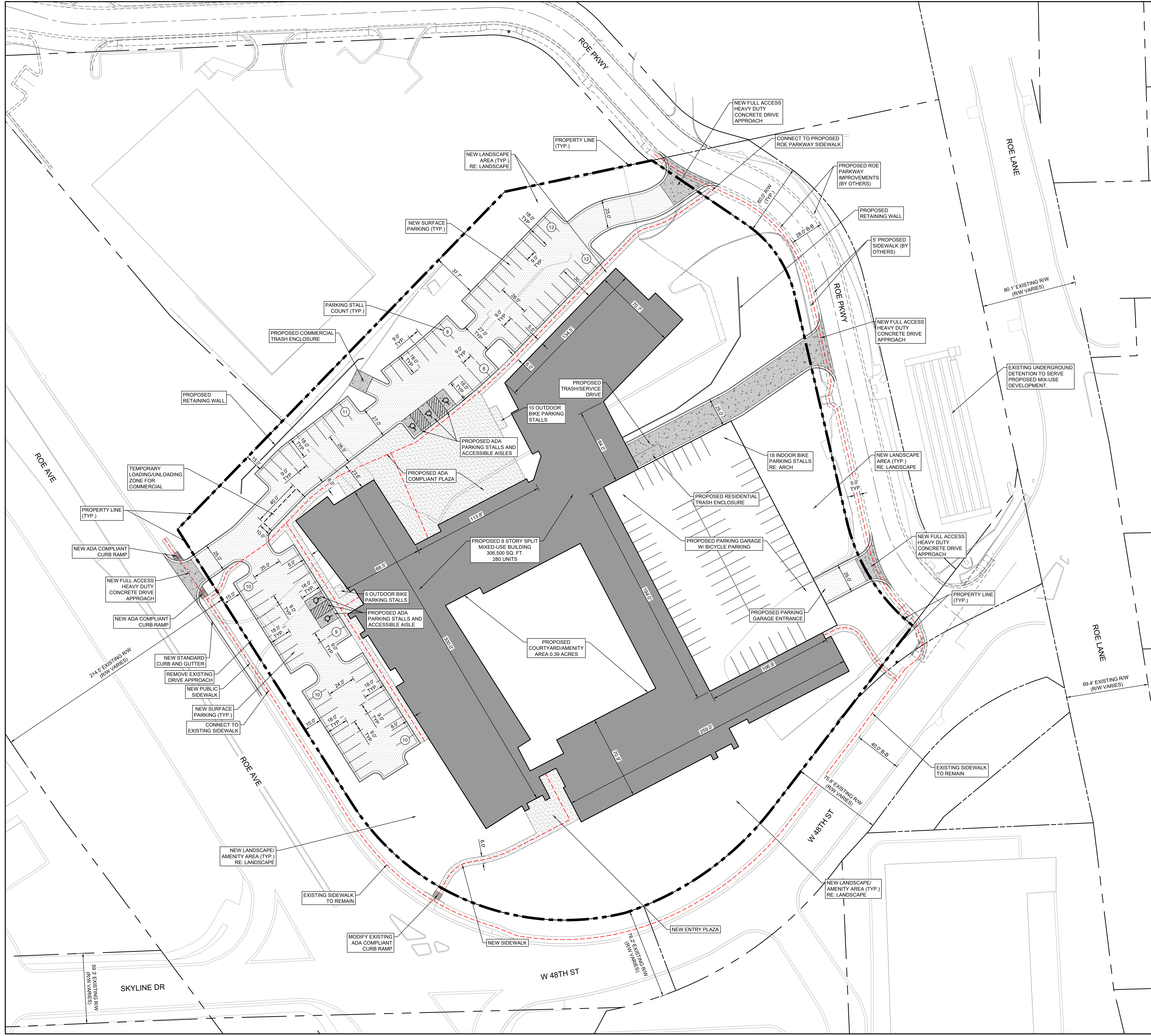
ROELAND PARK MIXED-USE PROJECT
 EPC REAL ESTATE GROUP, LLC
 PRELIMINARY DEVELOPMENT PLAN
 10/04/22

REVISIONS
 1 - 11/01/2022

12-22109-00

EXISTING CONDITIONS

C1

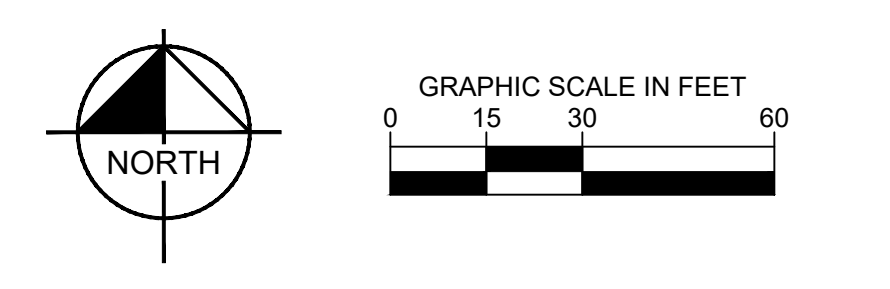


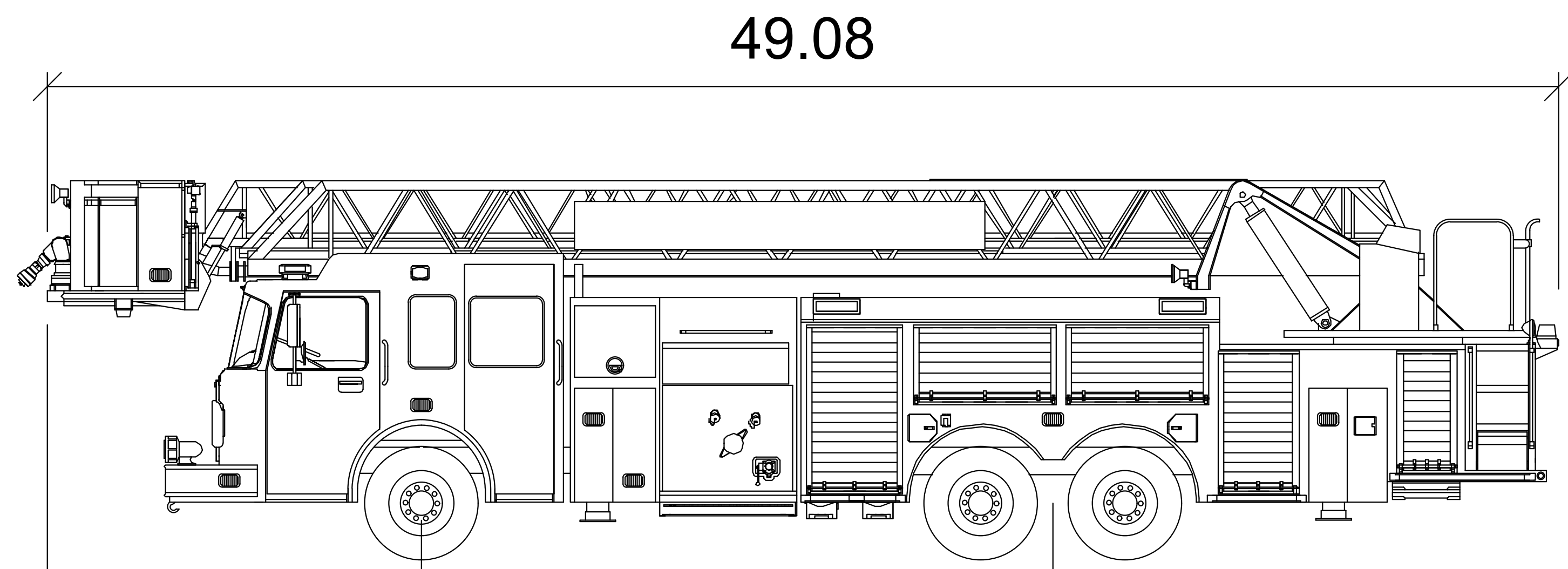
SITE PLAN LEGEND

	STANDARD DUTY ASPHALT PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	CONCRETE SIDEWALK
	STANDARD CURB & GUTTER
	PEDESTRIAN NETWORK ROUTE

Development Summary Table

Development Summary Table		
A	Zoning	
	Existing	CP-2
B	Total Land Area	
	Existing	5.79 Acres
C	Right-of-way	
	Existing	0.00 Acres
D	Net Land Area	
	Proposed	5.79 Acres
E	Proposed Uses	
	Mixed-Use (Multi-Family, Restaurant, & Amenity)	
F	Structure Height & # of floors	
	Number of Floors	8
G	Gross Floor Area & # of Units	
	Total Building Count	1
H	Vehicle Parking	
	Parking Stalls Required*	330
I	Bike Parking	
	Stalls Required*	33
J	Timeline	
	Estimated Start Date	6/1/2023
K	Requested Deviations	
	1. Request to Allow Parking Between Structure and Roeland Avenue Right-Of-Way	
*Parking Notes:		
Multi-Family: 1.0 Stall/ 1 Bed Dwelling Unit		
Restaurants: 6 Stall/ 1000 SF		
Bike Parking: 1 Stall/ 10 Required Parking Stalls		
Handicap Parking: 1 Stall/ 25 Stalls Rounded Up		





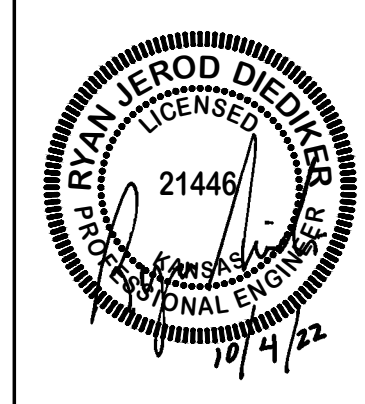
12.92 20.00

Smeal Platform RM 100ft

feet

- Width : 8.33
- Track : 7.83
- Lock to Lock Time : 6.0
- Steering Angle : 48.0

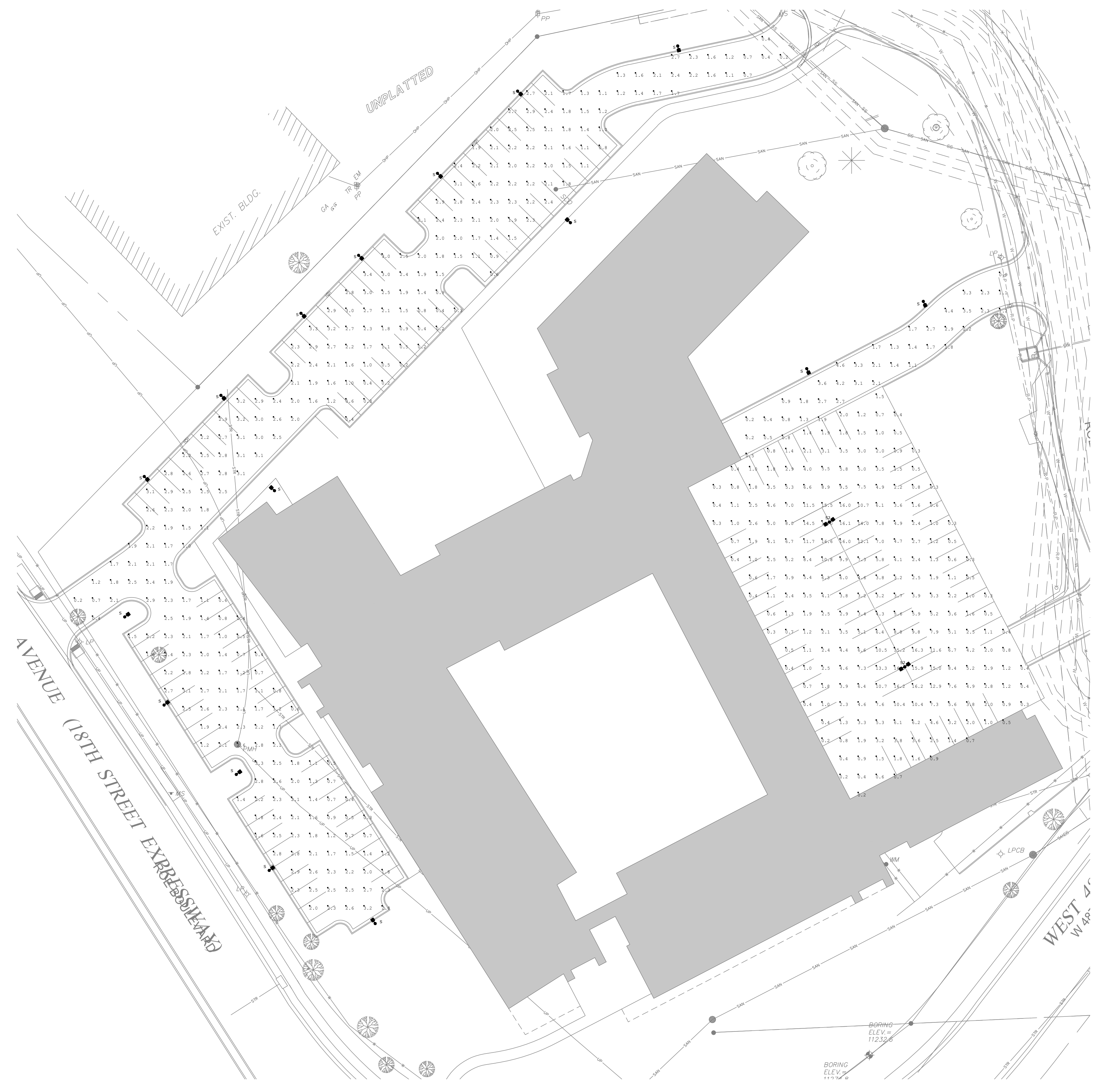




EXTERIOR LIGHT FIXTURE SCHEDULE						
TYPE	DESCRIPTION	MOUNTING	SOURCE	VOLTS	MANUFACTURER	V-A
S	SINGLE HEAD LED PARKING LOT POLE FIXTURE, TYPE IV (14M) DISTRIBUTION, INTEGRAL 10% 0-10V DIMMING DRIVER, UL LISTED FOR WET LOCATIONS, ARM MOUNTED, MAXIMUM 1000MA DRIVE CURRENT, FULL CUTOFF, COORDINATE DESIRED FINISH WITH ARCHITECT, PROVIDE WITH 20'-0" SQUARE STEEL POLE.	CONCRETE BASE	21,857 LUMEN 3000K 90 CRI	UNV	LITHONIA SERIES DSX2 MCGRAW EDISON SERIES GALLEON BEACON SERIES VIPER LSI SERIES MRM	185
S2	DUAL HEAD LED PARKING LOT POLE FIXTURE, TYPE V (15M) DISTRIBUTION, INTEGRAL 10% 0-10V DIMMING DRIVER, UL LISTED FOR WET LOCATIONS, ARM MOUNTED, MAXIMUM 1000MA DRIVE CURRENT, FULL CUTOFF, COORDINATE DESIRED FINISH WITH ARCHITECT, PROVIDE WITH 12'-0" SQUARE STEEL POLE.	CONCRETE BASE	23,182 LUMEN 3000K 90 CRI	UNV	LITHONIA SERIES DSX2 MCGRAW EDISON SERIES GALLEON BEACON SERIES VIPER LSI SERIES MRM	185

CALCULATION SUMMARY					
AREA NAME	AVE	MAX	MIN	AVERAGE	MAXIMUM
PARKING GARAGE ROOF	42	166	0.2	21.0	83.0
PARKING	19	3.4	0.2	9.5	17.0
SERVICE DRIVE	20	4.6	0.2	9.8	23.0

NOTES:
1. ILLUMINANCE VALUES ARE IN FC.

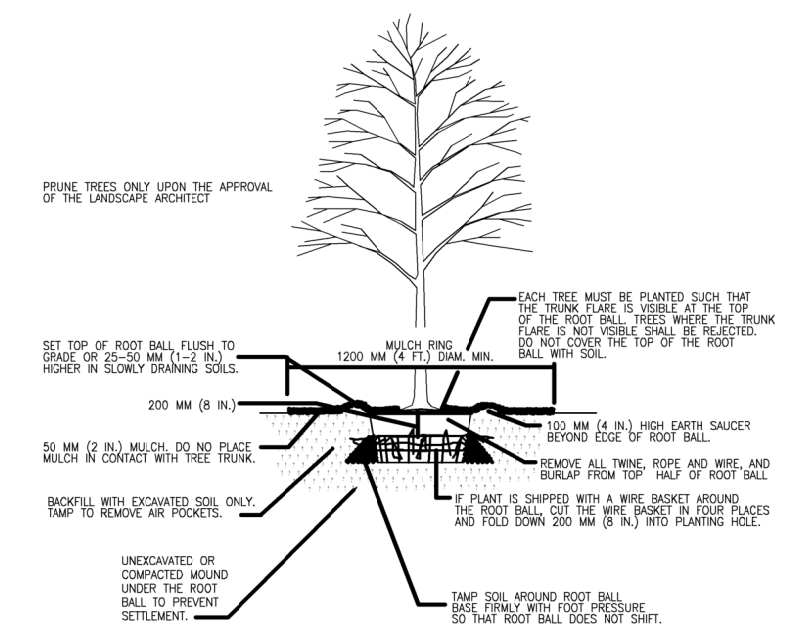
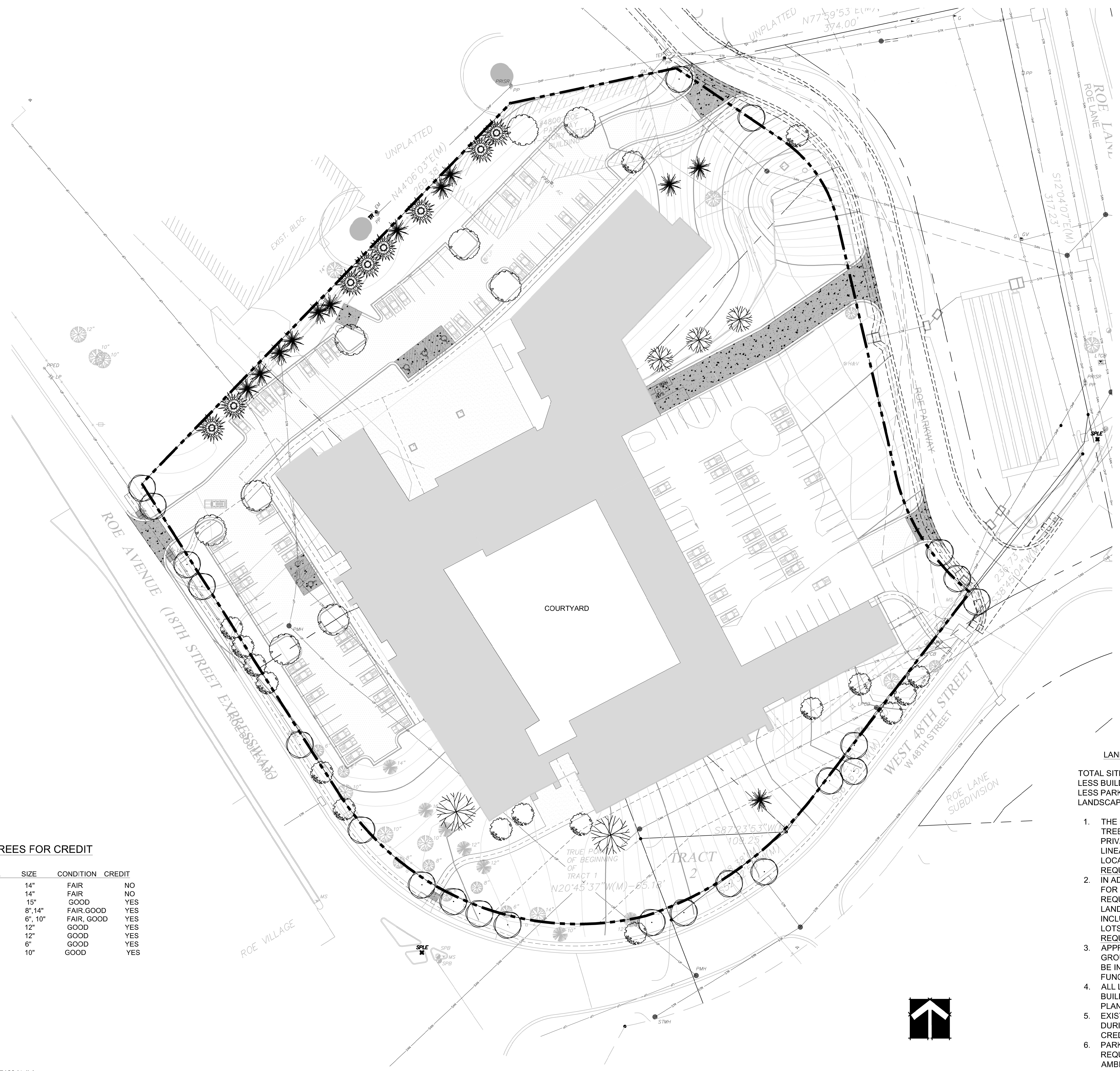


PHOTOMETRICS - SITE PLAN
SCALE: 1" = 30'-0"

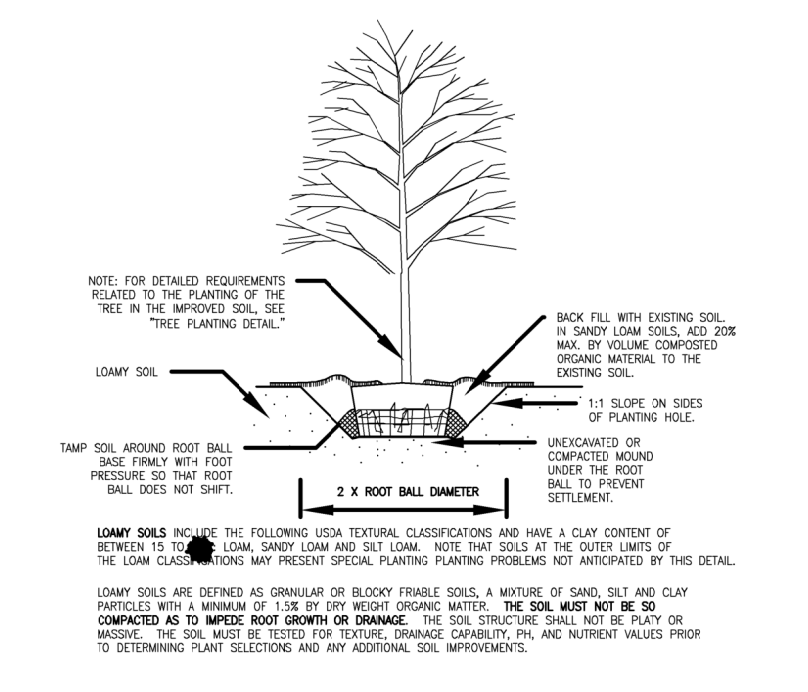
15 0 15 30 45 75
feet
scale: 1" = 30'-0"

Region: Park, Mixed-Use, Development
Project: 222789 (2226)
Architect: Alex Cymbalski
Monday, October 3, 2022 3:24:43 PM
Monday, October 3, 2022 3:25:02 PM

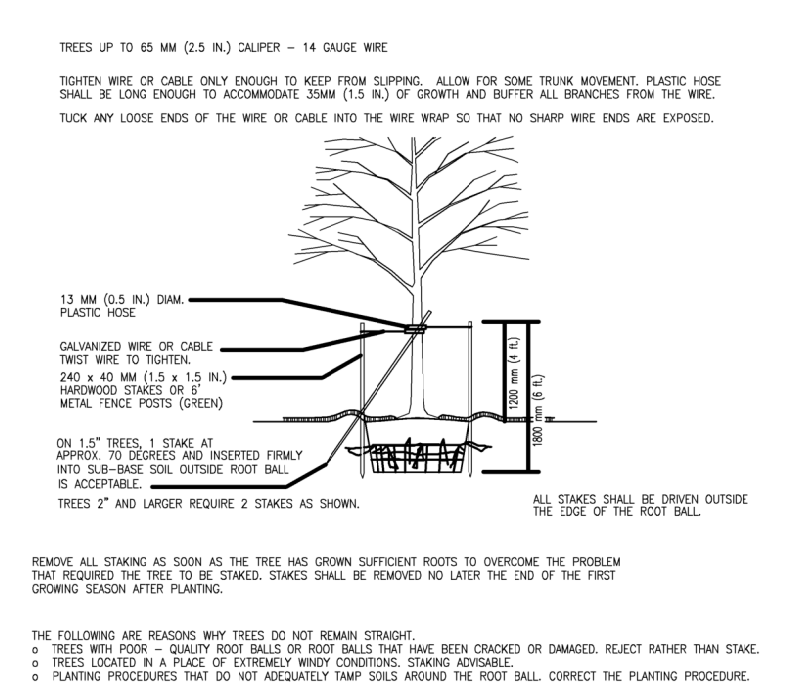
PROJECT NAME: ...
LAST CORRECTION BY: ...
PLOTTED BY: ...



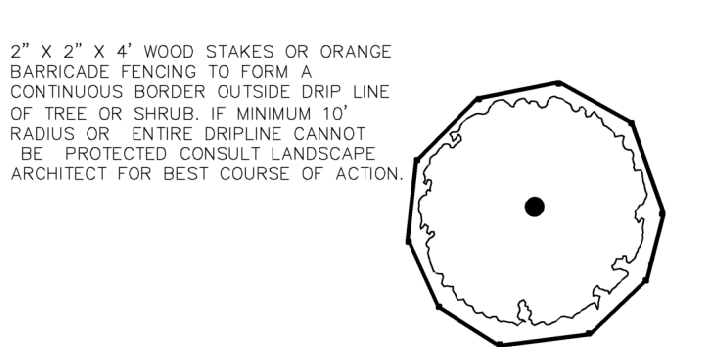
TREE PLANTING DETAIL - 8-10 TREES
NO SCALE



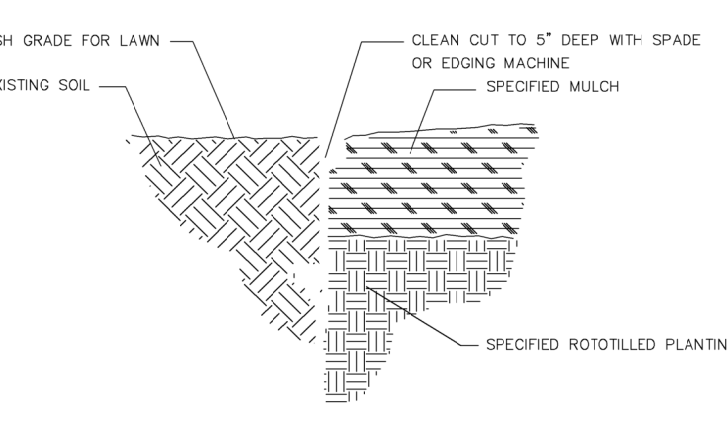
SOIL IMPROVEMENT DETAIL - TREES PLANTED IN NON RESTRICTED SOIL CONDITIONS



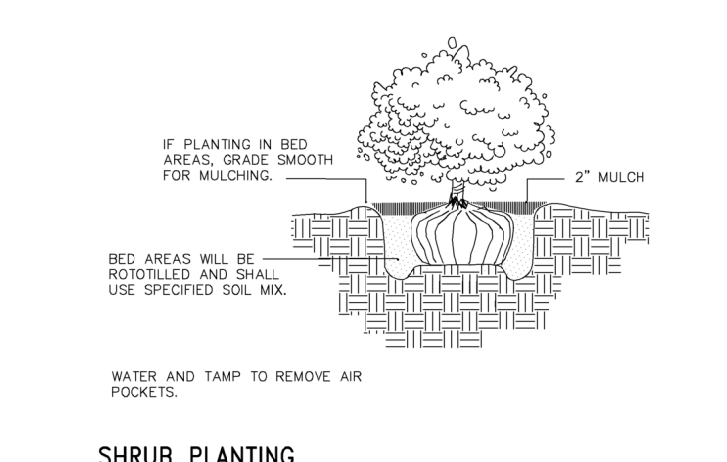
TREE STAKING DETAIL - TREES UP TO 3 INCH CALIPER
NO SCALE



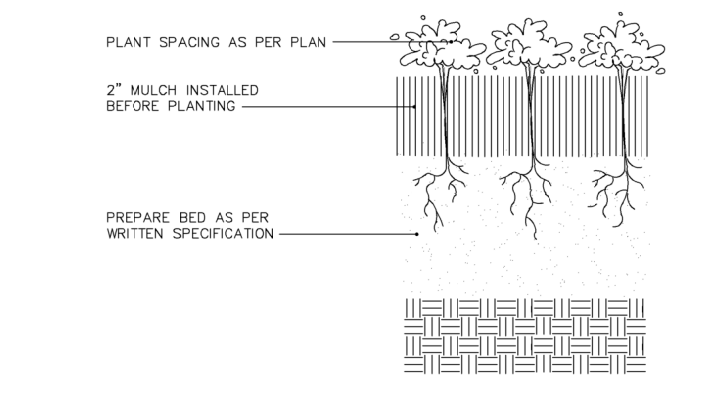
TREE PROTECTION DETAIL
NO SCALE



GARDEN OR NATURAL BED EDGE
NO SCALE



SHRUB PLANTING
NO SCALE



GROUNDCOVER OR PERENNIAL PLANTING DETAIL
NO SCALE

EXISTING TREES FOR CREDIT

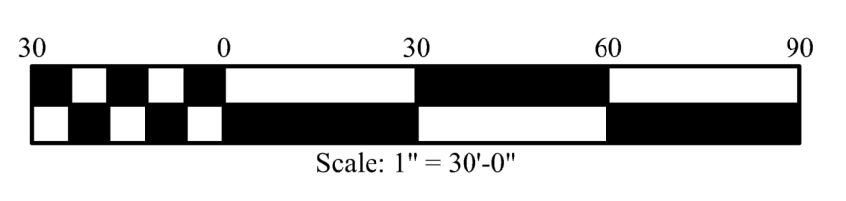
SPECIES	NO.	SIZE	CONDITION	CREDIT
AUS. PINE	7	14"	FAIR	NO
SCOTCH PINE	2	14"	FAIR	NO
SCOTCH PINE	1	15"	GOOD	YES
HONEYLOCUST	3	8", 14"	FAIR, GOOD	YES
RED MAPLE	2	6", 10"	FAIR, GOOD	YES
REDBUD	1	12"	GOOD	YES
RIVER BIRCH	1	12"	GOOD	YES
KY. COFFEETREE	1	6"	GOOD	YES
SILVER MAPLE	1	10"	GOOD	YES

LANDSCAPE SITE CALCULATIONS

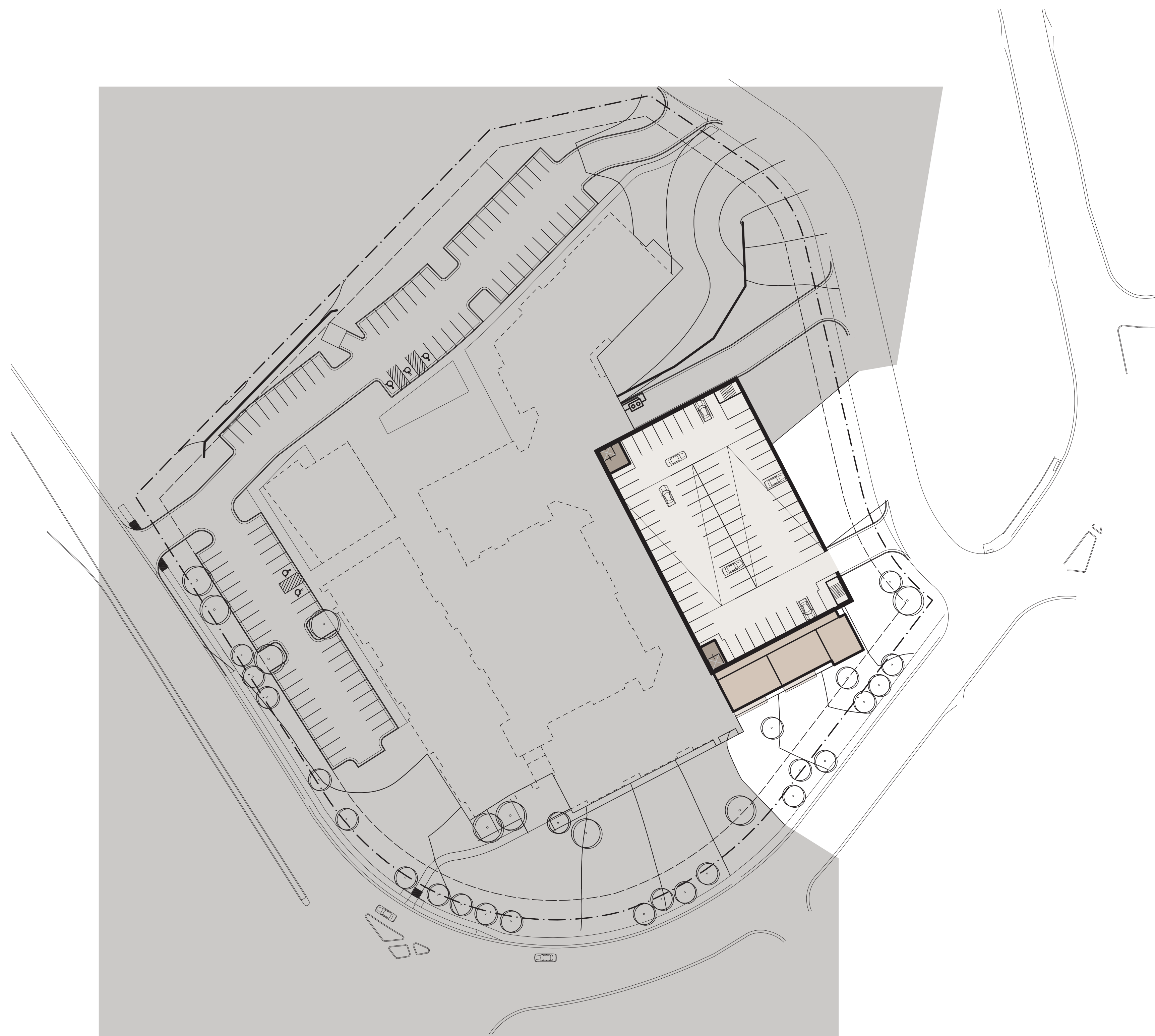
TOTAL SITE:	252, 213 Sq. Ft.
LESS BUILDING:	65, 173 Sq. Ft.
LESS PARKING, WALKS	79, 446 Sq. Ft.
LANDSCAPE OPEN SPACE	107, 594 Sq. Ft.

1. THE ROELAND PARK UDO REQUIRES ONE TREE FOR EVERY 40' OF PUBLIC OR PRIVATE STREET FRONTAGE. 1496 LINEAL FEET REQUIRES 37 TREES LOCATED WITHIN THE SETBACK. REQUIREMENT MET
2. IN ADDITION TO THE REQUIRED TREES FOR STREET FRONTAGE, 1 TREE IS REQUIRED FOR EVERY 4000 SQ. FT. OF LANDSCAPE OPEN SPACE, WHICH MAY INCLUDE TREES REQUIRED IN PARKING LOTS. 27 TREES REQUIRED. REQUIREMENT MET
3. APPROPRIATE NUMBERS OF SHRUBS, GROUNDCOVER AND TURF SHALL ALSO BE INCLUDED TO FULFILL LANDSCAPE FUNCTION.
4. ALL LAND AREAS NOT COVERED BY BUILDING OR HARDSCAPE SHALL BE PLANTED WITH TURF OR NATIVE GRASS.
5. EXISTING TREES ON THE SITE SAVED DURING CONSTRUCTION CAN BE CREDITED TOWARD THE REQUIREMENTS.
6. PARKING AND VEHICULAR USE AREAS REQUIRE PRIMARILY TREES TO LOWER AMBIENT PARKING LOT TEMPERATURES.

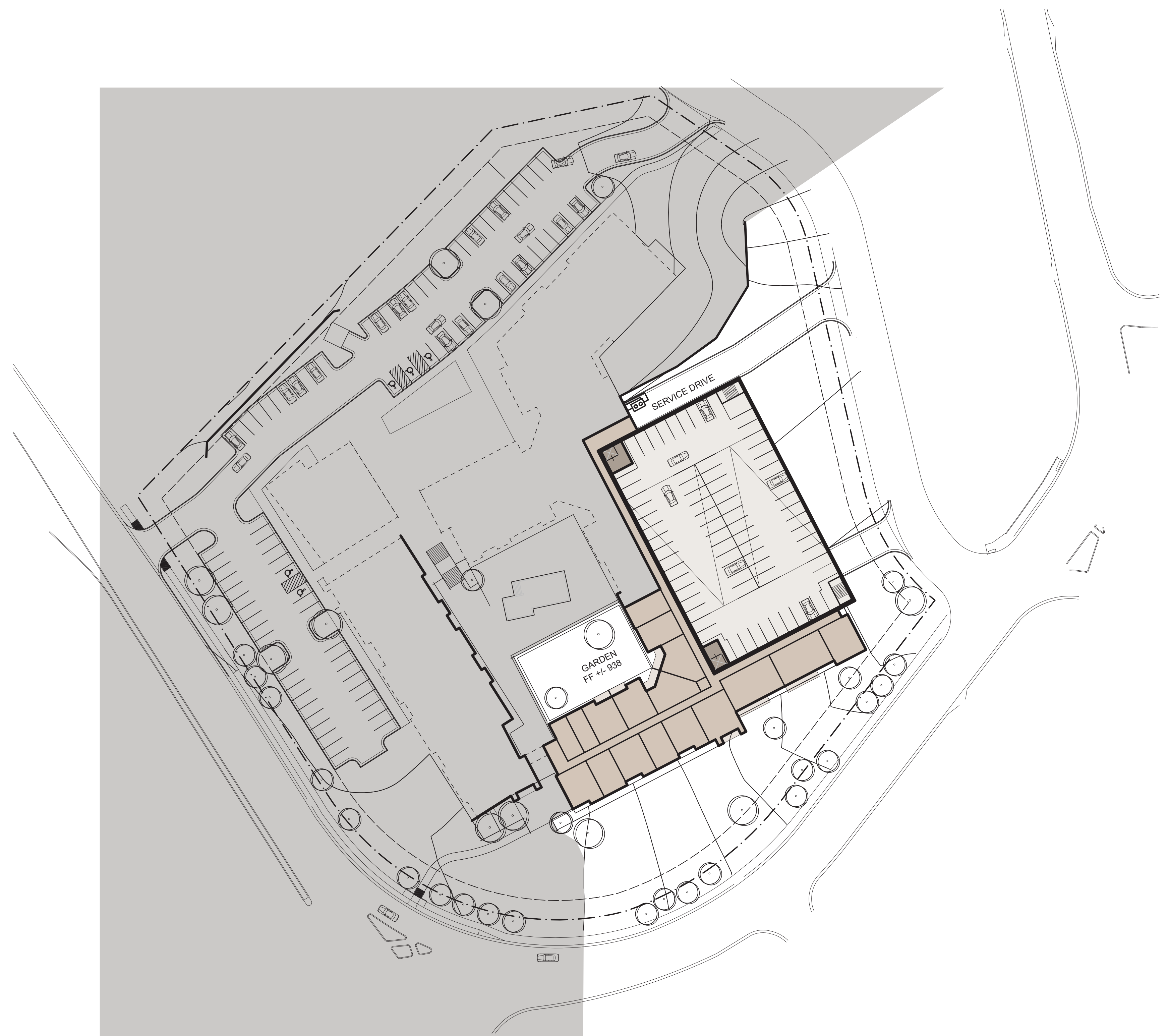
RICHARD CLAYTON BARRETT
Richard Clayton Barrett, ASLA, LLC
1728 Nall Avenue
Overland Park, KS, 66208
Phone 913.352.1200
Fax 913.352.1171



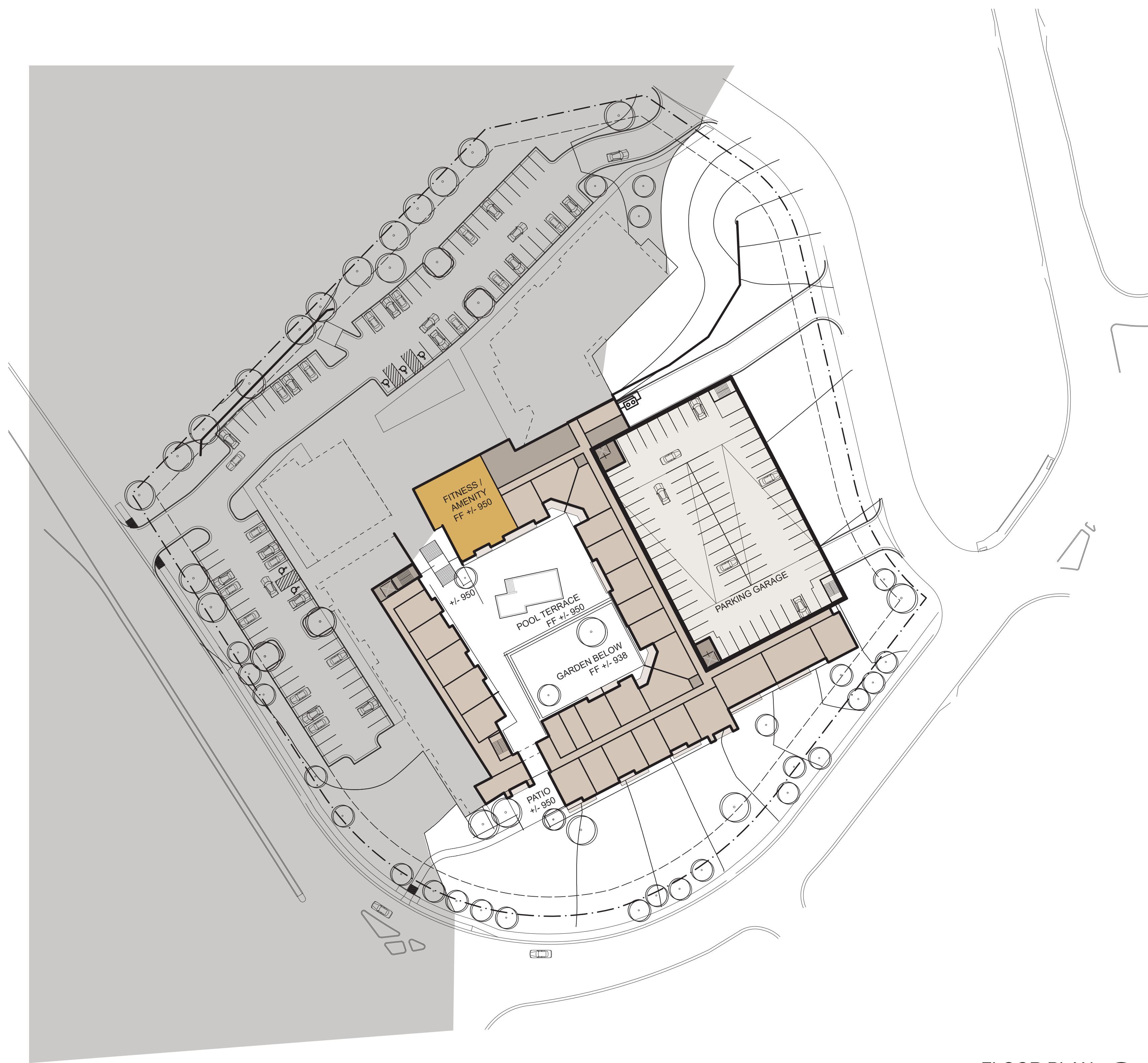
LANDSCAPE ARCHITECTURAL SITE PLAN
PRELIMINARY/NOT FOR CONSTRUCTION/DO NOT SCALE DRAWING



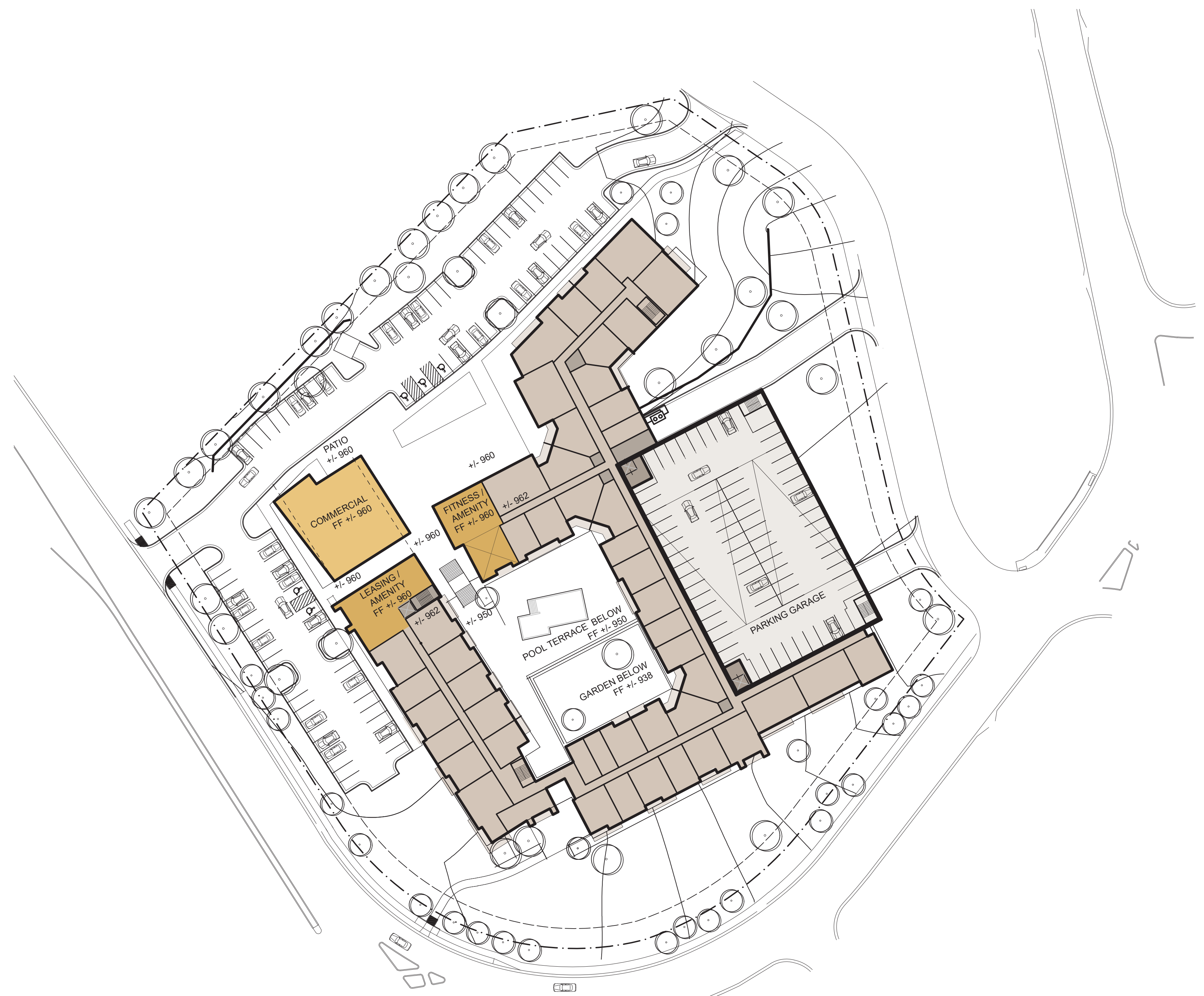
FLOOR PLAN
 LEVEL +/- 929
 SCALE: 1" = 50'-0"



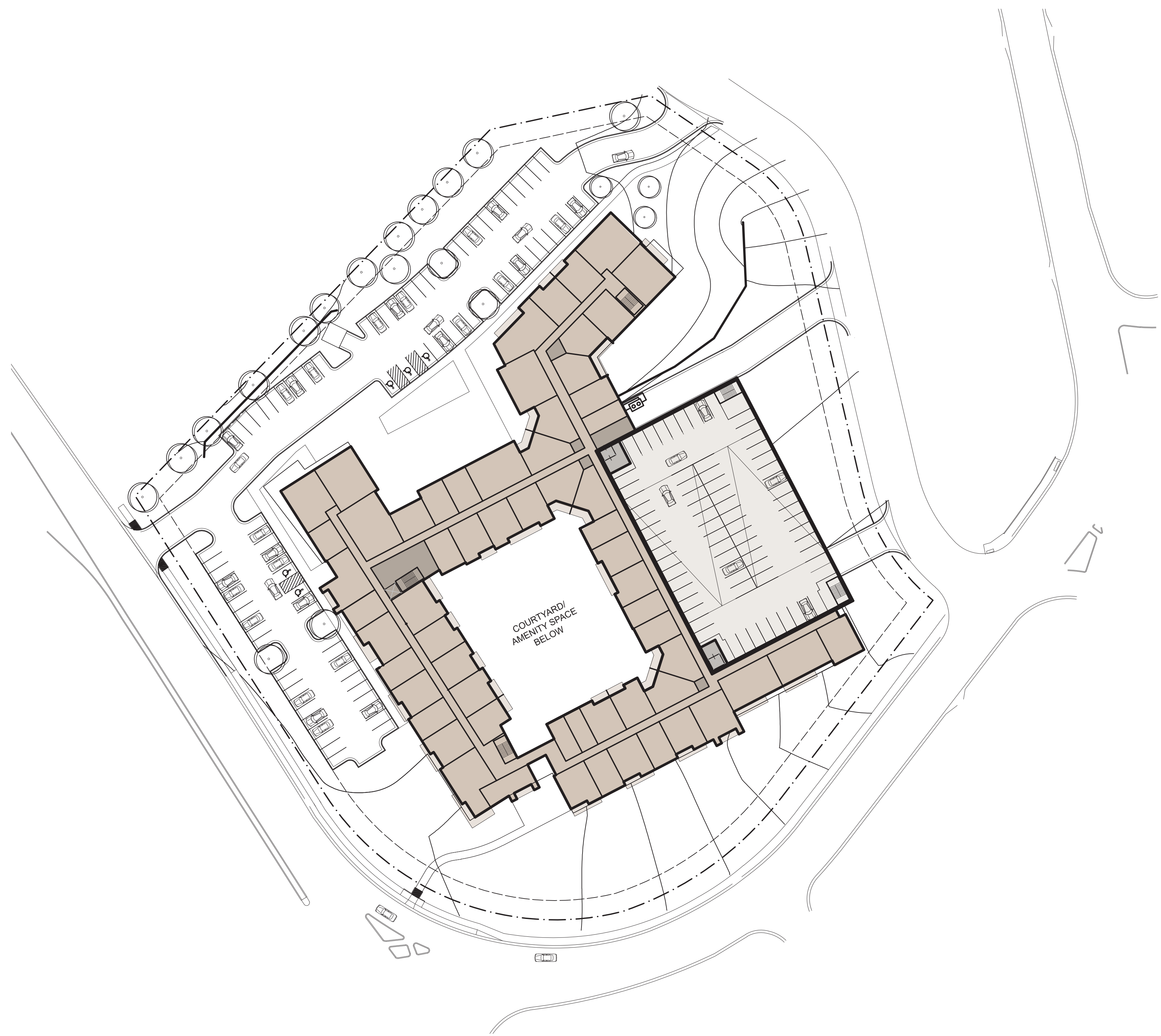
FLOOR PLAN
 LEVEL +/- 940
 SCALE: 1" = 50'-0"



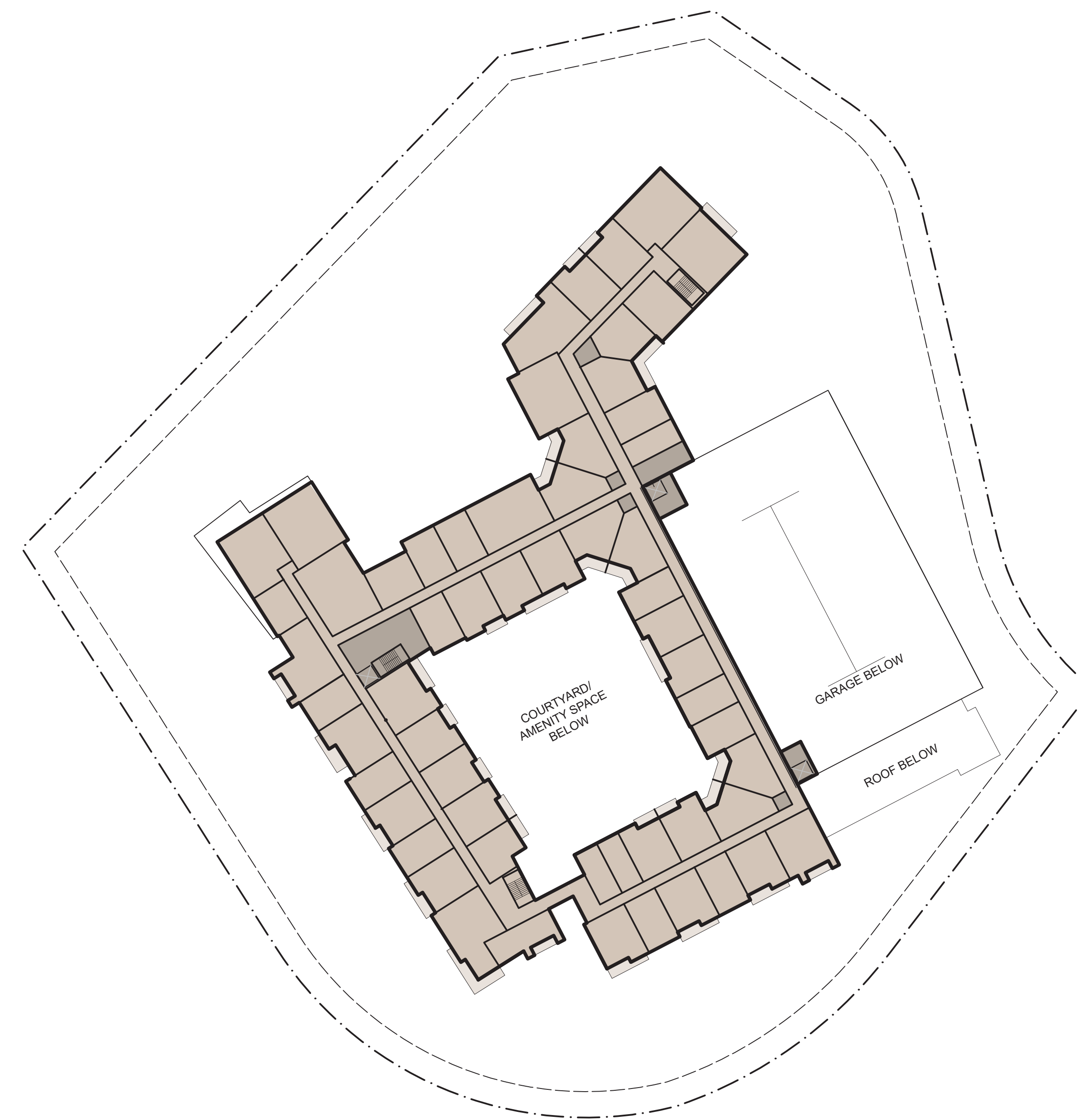
FLOOR PLAN
 LEVEL +/- 951
 SCALE: 1" = 50'-0"



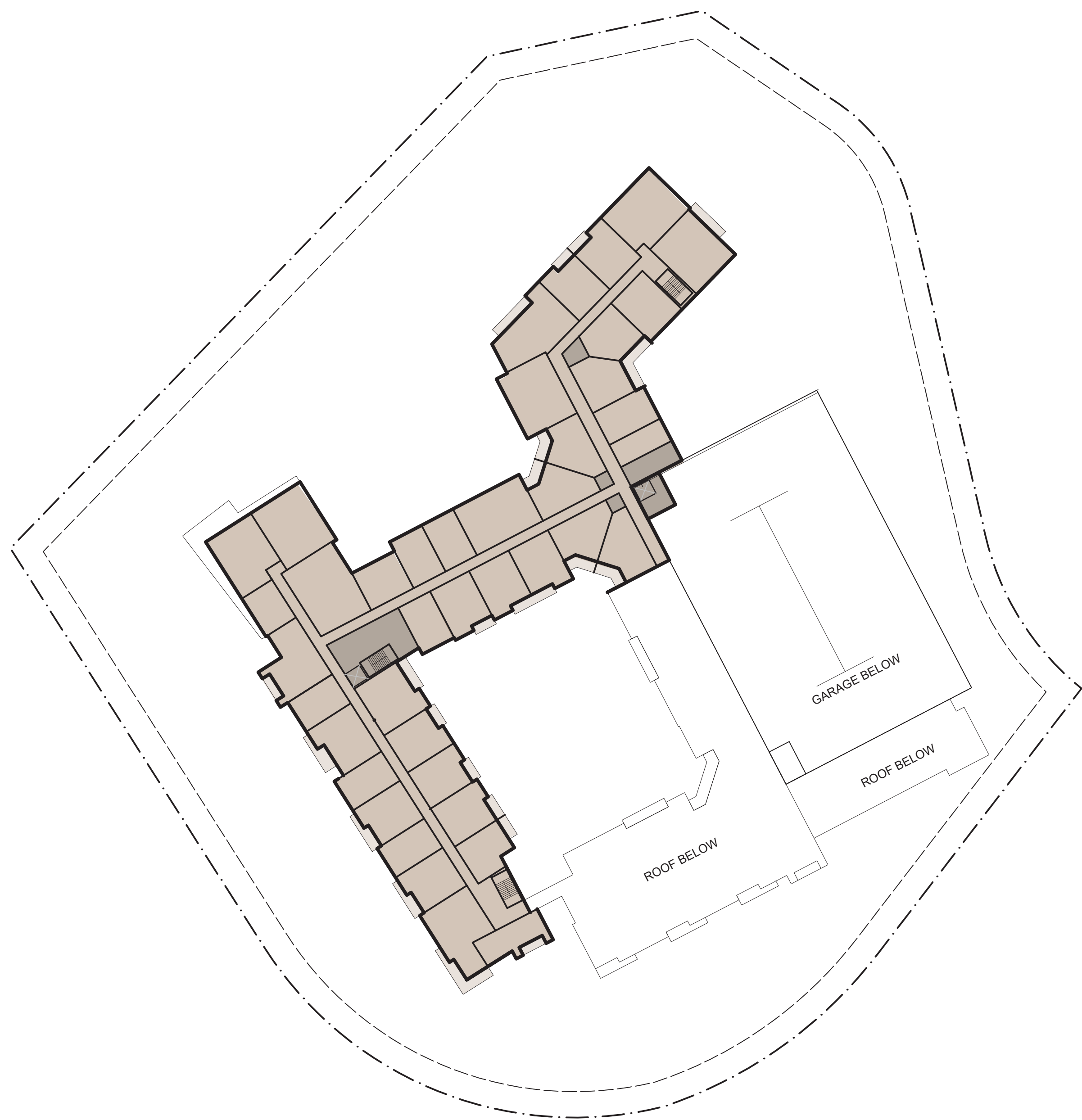
FLOOR PLAN
 LEVEL +/- 962
 SCALE: 1" = 50'-0"



FLOOR PLAN
 LEVEL +/- 973
 SCALE: 1" = 50'-0"



FLOOR PLAN
 LEVEL +/- 984
 SCALE: 1" = 50'-0"



FLOOR PLAN
 LEVEL +/- 995
 SCALE: 1" = 50'-0"



FLOOR PLAN
 LEVEL +/- 1006
 SCALE: 1" = 50'-0"



WEST ELEVATION



SOUTH ELEVATION

LEGEND

- 1 CULTURED STONE
LIGHT COLORED
- 2 LAP SIDING
COLOR: BURNT UMBER
HARDIE BOARD OR SIMILAR
- 3 BOARD AND BATTEN PANELS
COLOR: DARK TAUPE
HARDIE BOARD OR SIMILAR
- 4 METAL FASCIA AND SOFFIT
- 5 ALUMINUM STOREFRONT/
WINDOW SYSTEM



VIEW OF CORNER FROM ROE BLVD & 48TH STREET



VIEW OF COMMERCIAL SPACE FROM NORTHWEST VEHICULAR ACCESS