

Development Code Update

ROELAND PARK, KANSAS

November 13, 2023
Community Forum

CONFLUENCE



OUTLINE

- Code Update Purpose
- Focus Areas
 - Residential Standards
 - Commercial Standards
 - Accessory Structures
 - Landscaping
 - Signage
- Next Steps



CODE UPDATE PURPOSE

CODE UPDATE PURPOSE

PURPOSE

- Update out-of-date language and definitions
- Address community concerns related to infill redevelopment and design standards

AREAS OF FOCUS

- Code Definitions
- Zoning District Regulations
- Design Guidelines
- Accessory Structures (garages, sheds, etc.)
- Sign Regulations
- Landscaping and Screening Standards
- Subdivision Regulations for Townhome Development (postage stamp lots)

DRAFT CODE UPDATES

RESIDENTIAL STANDARDS

Bulk Regulations (setbacks, height, lot size)

- R-1 Single Family Residence
- R-2 Single Family Residence
- Duplex Residence
- Multiple Residence

BULK AND DENSITY REGULATION BY BUILDING TYPE	BUILDING TYPE					Non- Residential Structure in a Residential Zoning District
	R-1 Single Family Residence	R-2 Single- Family Residence	Duplex Residence	Townhouse or Row Dwelling	Multiple Residence	
Min. Lot Size	7,500 sq. ft.	6,000 sq. ft.	7,500 sq. ft.	n/a	7,500 sq. ft. for each building	40,000 sq ft
Min. Lot Width ¹	60 ft	60 ft	60 ft	24 ft.	n/a	100 ft
Min. Lot Street Frontage ²	35 ft	20 ft	35 ft	20 ft	80 ft	40 ft
Front Yard Setback ³	30/35 ft.	25 ft	30/35 ft.	25 ft	35 ft	35 ft.
Side Yard Setback ⁴	5 ft (max 80% of lot width)	5 ft (max 80% of lot width)	5 ft (max 80% of lot width)	8 ft. ⁶	20 ft (max 75% of lot width) 30 ft	30 ft
Rear Yard Setback ⁵	15 ft	15 ft	15 ft	30 ft	30 ft	30 ft
Min. Separation Between Principal Buildings	n/a	n/a	n/a	16 ft side to side, 46 ft back to back or back to side	15 ft 30 ft	20 ft
Min. Setback from Private Street or Common Private Roadway	n/a	n/a	n/a	20 ft from back of curb or street sidewalk whichever is closest	20 ft from back of curb or street sidewalk whichever is closest	n/a
Min. Setback from the Perimeter of the Development	n/a	n/a	n/a	30 ft	30 ft	30 ft
Max. Building Height	35 ft (2 ½ stories)	35 ft (2 ½ stories)	35 ft (2 ½ stories)	35 ft	40 50 ft (3 stories)	40 ft
Min. Green Space	55-65%	55-65%	55-65%	25%	25%	25%
Max. Dwelling Units Per Acre	n/a	n/a	n/a	8	17.4 (2,500 sq. ft. per unit)	n/a

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Min. Lot Street Frontage²	35 ft	20 ft	35 ft	20 ft	80 ft	40 ft
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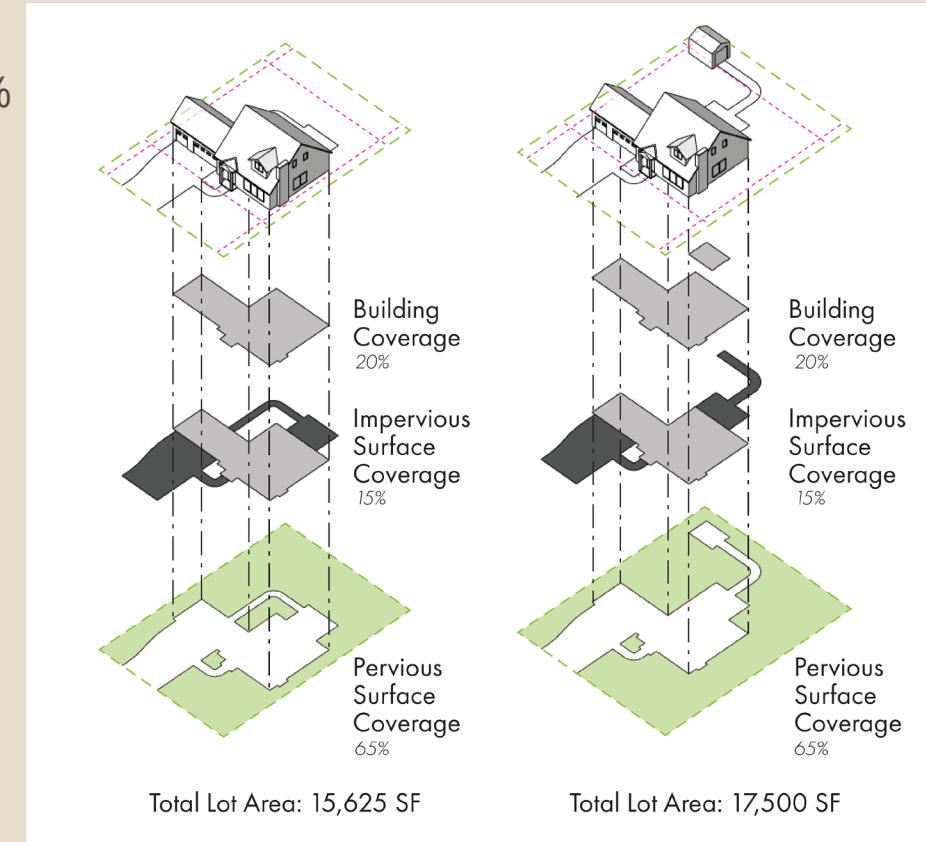
RESIDENTIAL STANDARDS

Green Space Standards

City code currently requires single family lots shall maintain a minimum of 55% of the lot area as permeable, uncovered green space. No structures, garages, sheds, play structures, pools, decks, driveways, patios or other paved or hard-surfaced areas shall be permitted within this green space area. For the purposes of this section, permeable pavers and elevated decks shall be considered hard-surfaced or impervious areas.

Lots 15,000 square feet to 18,999 square feet shall maintain a minimum of 55% (plus an additional 1% for each 400 square feet of lot size that is over 15,000 square feet) of the lot area as greenspace as defined above.

Lots 19,000 square feet and larger shall maintain a minimum of 65% of the lot area as greenspace as defined above.



RESIDENTIAL STANDARDS

Questions

- Should we have a new zoning district for townhomes and row houses (horizontally attached residential) vs apartments (vertically attached residential)?
- Comments on existing building setbacks?

RESIDENTIAL STANDARDS

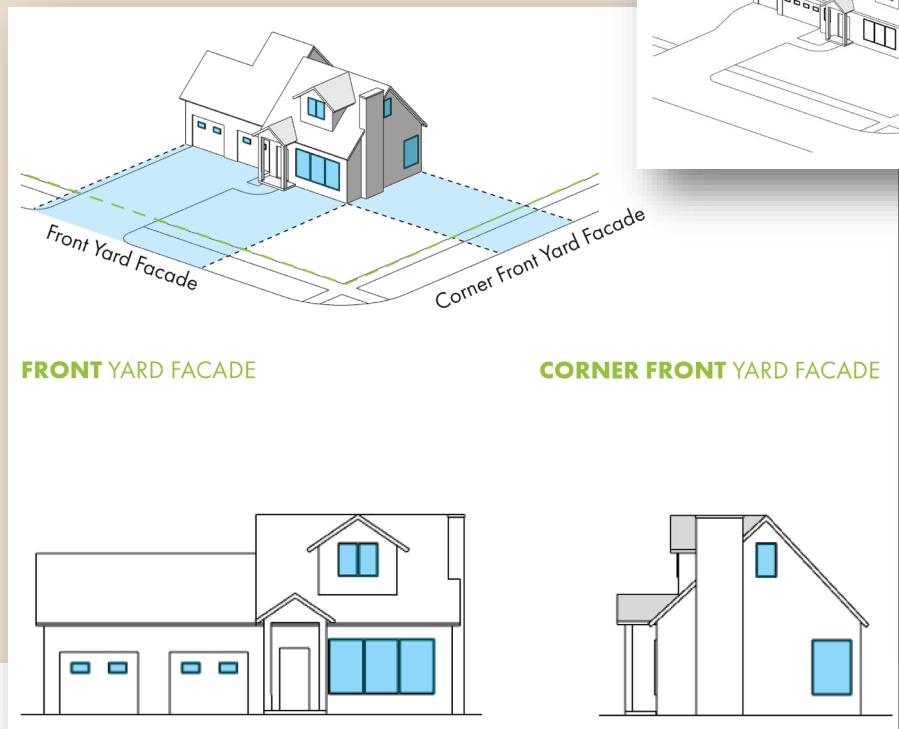
Building Design Standards

- R-1 and R-2 has existing building design standards
 - Exterior building materials
 - *Brick and stone veneer*
 - *Stucco traditional Portland based*
 - *Wood panels, siding, and trim*
 - *Cement fiberboard and composite wood - panels, siding, and trim*
 - *Architectural grade metal and vinyl siding and trim designed for residential applications*
 - *Exterior Insulation and Finish System (EIFS) - water managed*
 - *Glass windows and doors, and glass block*
 - *Concrete block and cast-in-place concrete - foundation walls only*
 - *Roofing materials include:*
 - *Laminate style asphalt shingles (architectural asphalt shingles)*
 - *Standing seam metal roofing*
 - *Slate and tile (including synthetic and composite)*
 - *Solar energy collectors and panels and related apparatus*

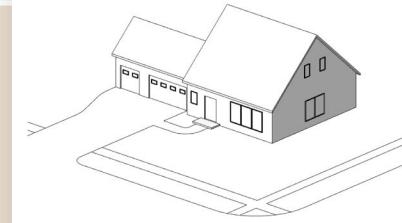
RESIDENTIAL STANDARDS

Building Design Standards

- R-1 and R-2 has existing building design standards
 - Exterior building materials
 - Wall Articulation
 - Windows (10% along street facing facades)



WITHOUT WALL ARTICULATION



EXAMPLE OF ACCEPTABLE WALL ARTICULATION



WITH WALL ARTICULATION VARIATION 1



WITH WALL ARTICULATION VARIATION 2



DESIGN STANDARDS

Building Design Standards

- Need to establish standards for Duplex, Townhomes/Row Houses, Multiple Residence, Office and Retail



RESIDENTIAL STANDARDS

Building Design Standards

- Need to establish standards for Duplex, Townhomes/Row Houses

Recommend:

- making the standard similar to R-1 and R-2 standard
- Anything to expand?



MATERIALS STANDARDS

Example

Building Materials Table				
	Class A	Class B	Class C	
<i>Masonry and Stone</i>				
Brick veneer, fired clay	X			Fired clay brick, full-veneer masonry wall system
Brick veneer (thin), fired clay	X			Thin veneer fired clay brick adhered to a wall surface or wall anchoring system, with the appearance of full brick
Stone veneer, natural	X			Synthetic stone adhered to wall surface or wall anchoring system
Terracotta rainscreen panels	X			Fired clay panels with a rainscreen wall anchoring system
Stucco, genuine	X			Traditional Portland cement based stucco applied in 3 coats over a solid surface
Brick veneer, synthetic		X		Synthetic bricks adhered to wall surface or wall anchoring system
Brick paneling, fired clay			X	Prefabricated panels of thin veneer fired clay brick
Brick paneling, synthetic			X	Prefabricated panels of synthetic brick adhered to a wall surface or wall anchoring system
Stone paneling, natural			X	Prefabricated panels of genuine stone adhered to wall surface or wall anchoring system
Stone paneling, synthetic			X	Prefabricated panels of synthetic stone adhered to a wall surface or wall anchoring system

MATERIALS STANDARDS

Masonry



**BRICK VENEER,
FIRED CLAY**

**BRICK VENEER (THIN),
FIRED CLAY**

**BRICK PANELING,
FIRED CLAY**

**BRICK VENEER,
SYNTHETIC**

**BRICK PANELING,
SYNTHETIC**

MATERIALS STANDARDS

Stone



STONE VENEER,
NATURAL

STONE PANELING,
NATURAL

STONE VENEER,
SYNTHETIC

STONE PANELING,
SYNTHETIC

TERRACOTTA
RAINSCREEN PANELS

STUCCO, GENUINE

MATERIALS STANDARDS

Concrete Masonry Units



CAST STONE



BURNISHED/GROUND-FACED BLOCK



PATTERNED OR SHAPED BLOCK



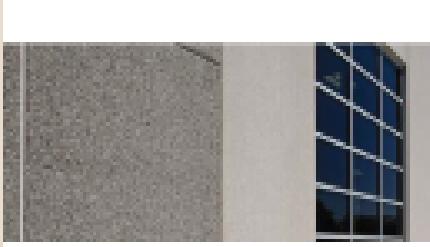
SPLIT-FACED BLOCK



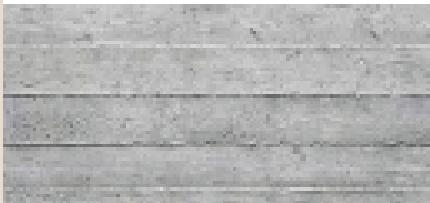
PLAIN, FLAT-FACED BLOCK

MATERIALS STANDARDS

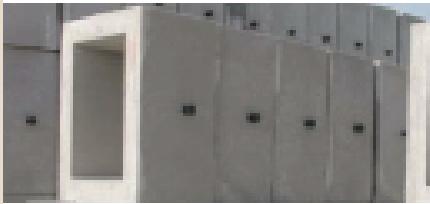
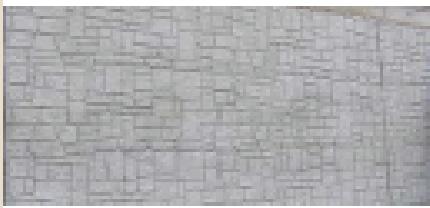
Concrete



ARCHITECTURAL
QUALITY PRECAST
CONCRETE PANELS



CAST-IN-PLACE
CONCRETE, BOARD
FORMED OR
DECORATIVE FORM
LINER



CAST-IN-PLACE
CONCRETE, PLAIN



SITE CAST AND
PRECAST CONCRETE
PANELS

MATERIALS STANDARDS

Metal



ARCHITECTURAL
QUALITY, COMPOSITE
METAL WALL PANEL
SYSTEMS



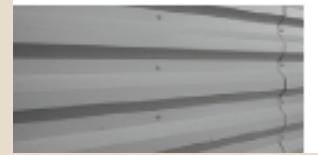
ARCHITECTURAL
QUALITY, INSULATED
METAL WALL PANEL
SYSTEMS



ARCHITECTURAL
QUALITY METAL
WALL PANEL
SYSTEMS, CONCEALED



ARCHITECTURAL
QUALITY METAL WALL
PANEL SYSTEMS,
EXPOSED FASTENING



METAL (PANELS,
SIDING, AND TRIM)

MATERIALS STANDARDS

Glass



CLEAR GLASS
(WINDOWS, CURTAIN
WALLS, PANELING
SYSTEMS)



GLASS BLOCKS



MIRRORED GLASS



TINTED GLASS
(INCLUDING COLOR
APPLIED)



SPANDREL GLASS

MATERIALS STANDARDS

Other Materials



CERAMIC



FABRIC



TRANSLUCENT WALL
PANEL AND SKYLIGHT
SYSTEMS



ARCHITECTURAL
QUALITY FIBER
CEMENT WALL
PANELS TEXTURED TO
RESEMBLE STONE OR
METAL



WOOD (PANELS AND
SIDING)



CEMENT FIBER BOARD
(PANELS AND SIDING)



EXTERIOR INSULATION
AND FINISH SYSTEM
(EIFS)



COMPOSITE WOOD
(PANELS, SIDING, AND
TRIM)



VINYL AND PVC
(PANELS, SIDING, AND
TRIM)

RESIDENTIAL STANDARDS

Building Design Standards

- Need to establish standards for Multiple Residence

Recommend:

- Street facing facades) include minimum 3 different Class A and B materials on 50% of wall area
- 10% clear glass on street facing facades
- Wall articulation minimum every 60 ft.



COMMERCIAL STANDARDS

Building Design Standards

- Need to establish standards for Office and Retail plus non-residential buildings in residential zoning districts

Recommend:

- Street facing facades) include minimum 3 different Class A and B materials on 75% of wall area
- 20% clear glass on street facing facades
- Wall articulation minimum every 60 ft.



COMMERCIAL STANDARDS

Bulk Regulations (setbacks, height, lot size)

- Office Building
- Retail Building

NON-RESIDENTIAL BULK AND DENSITY REGULATIONS TABLE		
BULK AND DENSITY REGULATION BY ZONING DISTRICT	ZONING DISTRICTS	
	Office Building	Retail Business
Min. Lot Size	n/a	n/a
Min. Lot Width	n/a	n/a
Min. Lot Street Frontage	n/a	n/a
Front Yard Setback	35 ft	35 ft
Side Yard Setback ¹	15 ft	15 ft
Rear Yard Setback ²	20 ft	20 ft
Min. Separation Between Buildings Not Attached	20 ft	20 ft
Max. Building Height ³	40 ft	40 ft
Min. Building Height	n/a	n/a
Min. Open Space	20%	20%

¹ 20 feet when said yard adjoins a residentially zoned property

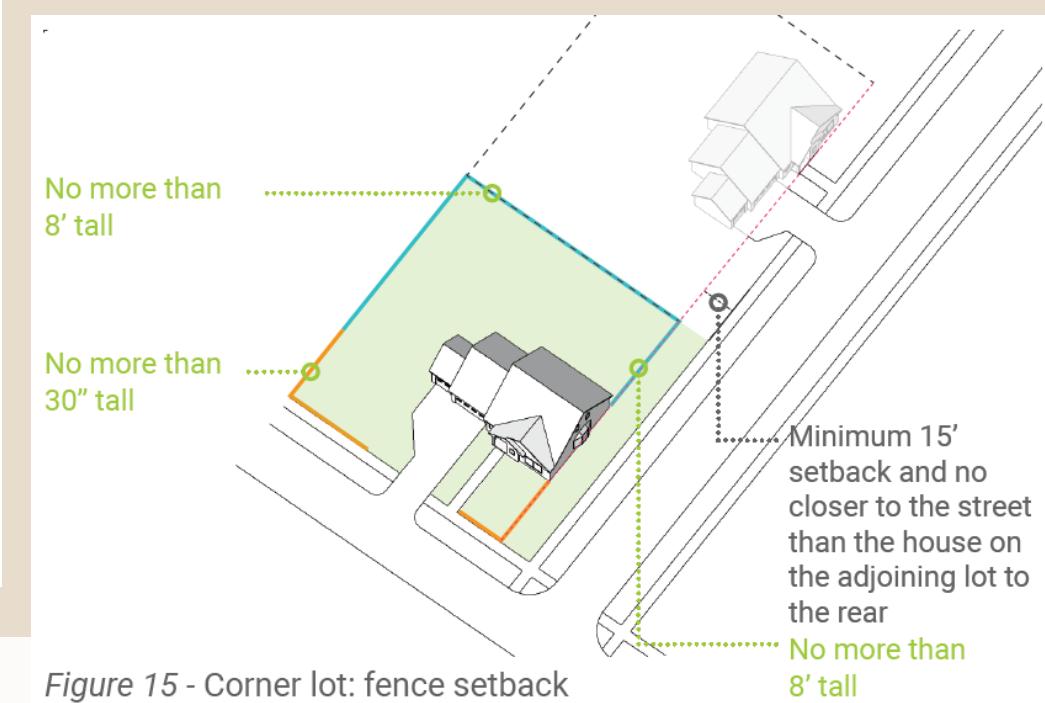
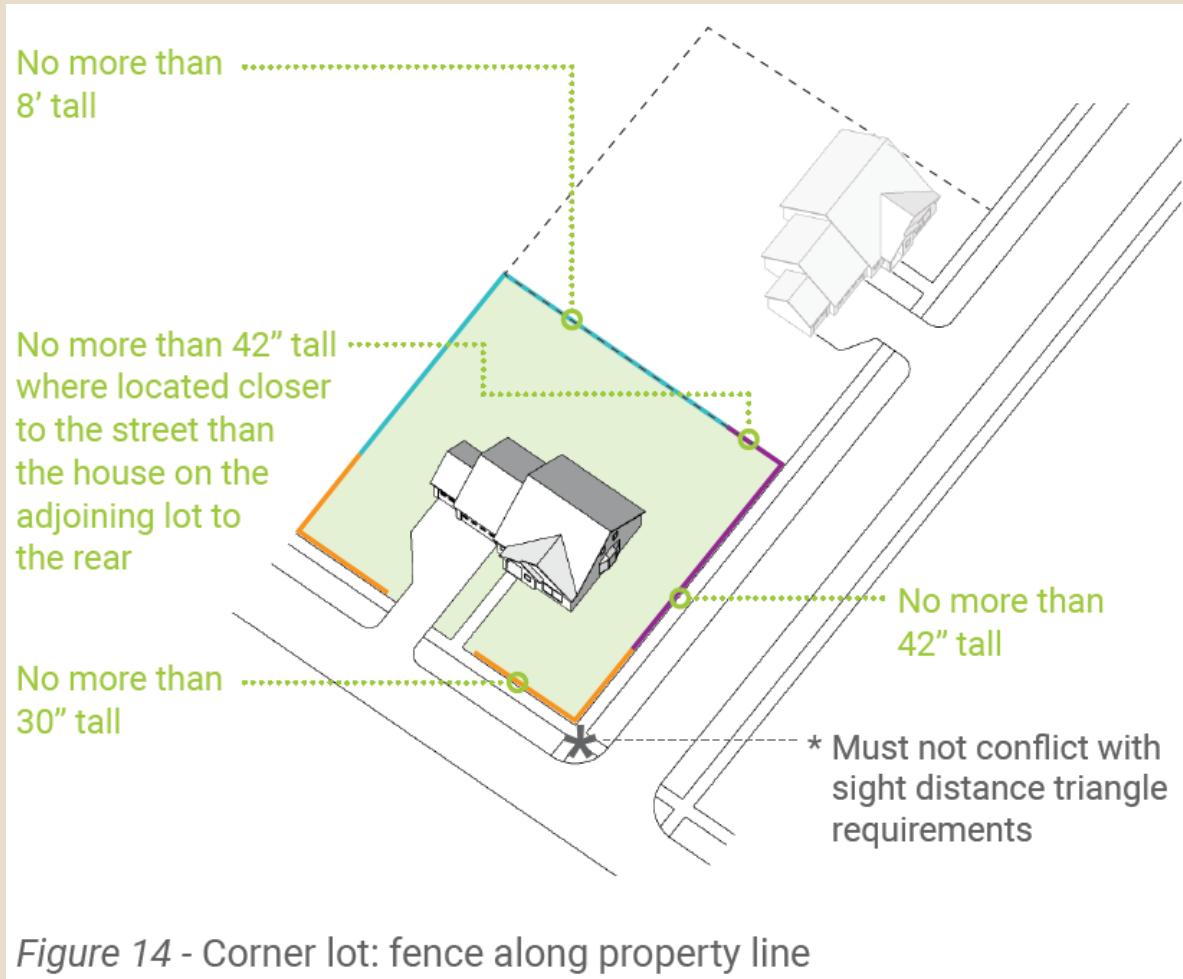
² 30 feet when said yard adjoins a residentially zoned property

³ An additional 10 ft of height is permitted for every 10 ft of additional building setback provided to a

⁴ The min. setback from Roe Boulevard is 30ft

ACCESSORY STRUCTURES

Fences



ACCESSORY STRUCTURES

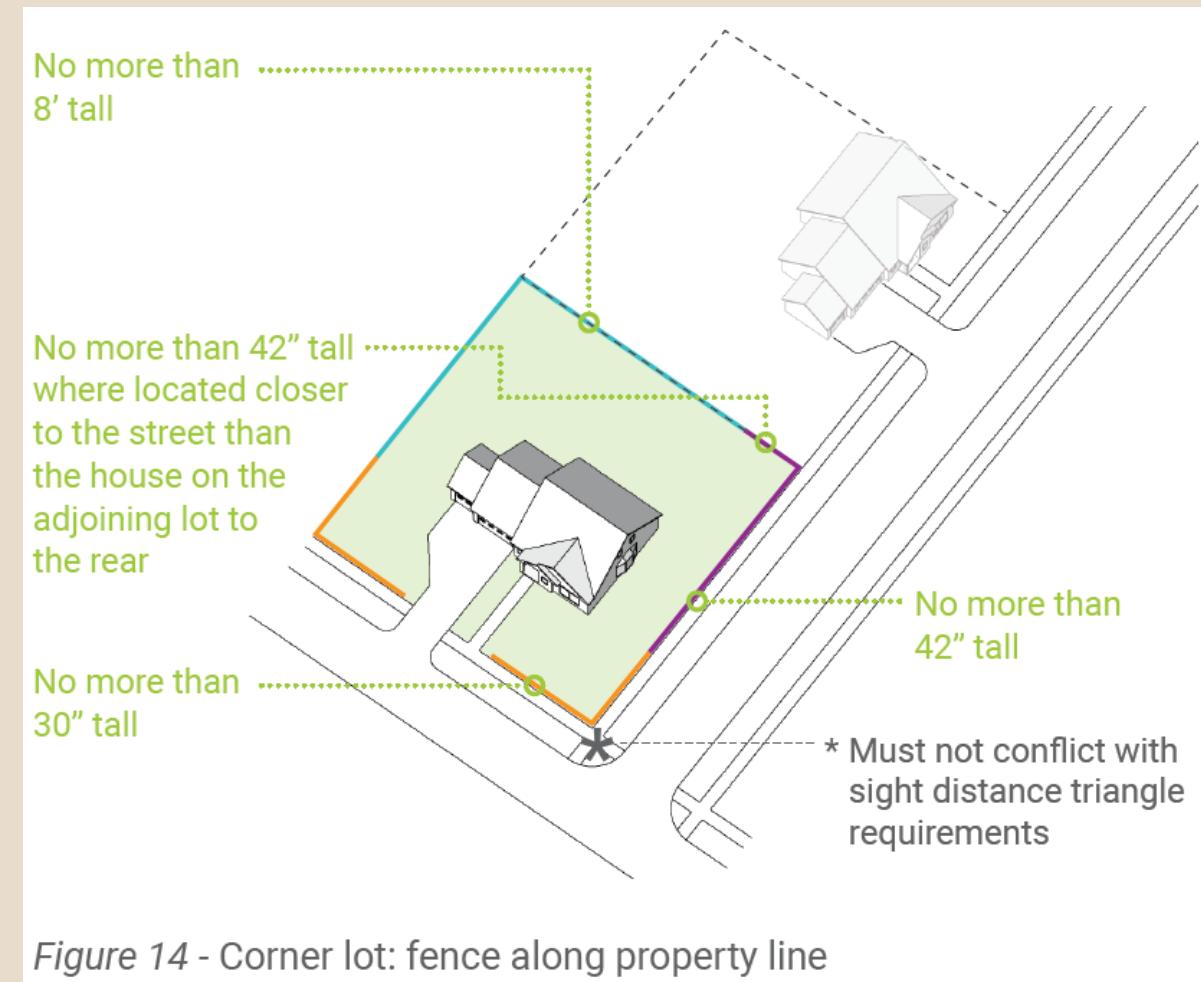
Fences

- Is 8 ft too tall?
- Other concerns?

Other Accessory Structures

- Location and setbacks for detached garages?
- Square footage limit?

Current code: max 250 sq. ft. for each 3,000 sq. ft. of lot area to max of 1,200 sq. ft.



ACCESSORY STRUCTURES

What about Accessory Dwelling Units (ADUs)?

- A second, smaller dwelling unit located on a lot with another, larger dwelling.



Accessory Dwelling Unit Types



ACCESSORY STRUCTURES

Typical ADU Regulations

- Smaller than the principal dwelling.
- No more than a total of 2 dwellings per lot.
- Sometimes require the owner to live in one of the 2 units.
- Must meet all setback and green space requirements.
- ADU must match the design of the principal structure.
- Must have its own entrance.
- An additional 1 or 2 off-street parking spaces required for the ADU.
- May be permitted by right or subject to a Conditional Use Permit.
- Cannot be subdivided or sold separate from the principal dwelling.
- *Separate or shared utilities?*

HOME OCCUPATIONS

Recommended Restrictions:

- Not more than one (1) person who is not a resident on the premises shall be employed and at least one resident of the premises shall be the primary operator of the home occupation.
- No alteration of the principal residential building shall be made which changes the character and appearance thereof as a dwelling.
- No home occupation shall be apparent to adjoining residences and from any public street.
- There shall be no outdoor storage of equipment or materials used in the home occupation.
- Not more than one (1) vehicle and one fully enclosed cargo trailer, which is less than 17 feet in length, used in commerce in connection with any home occupation shall be parked on either the property or on public streets.

HOME OCCUPATIONS

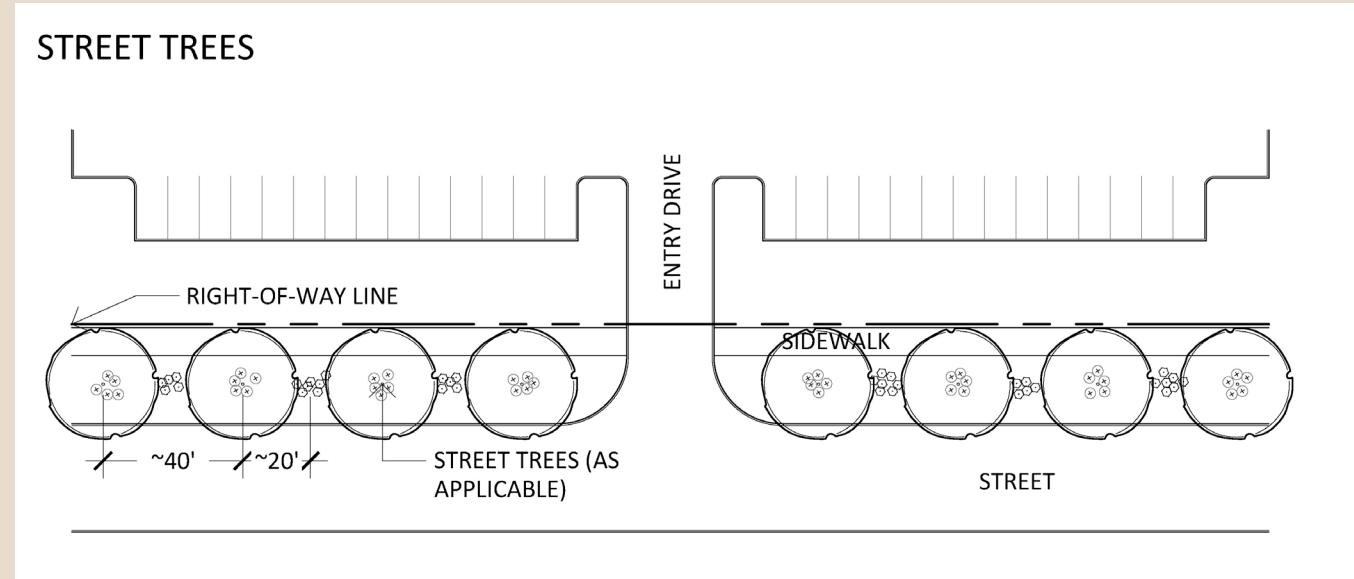
Recommended Restrictions (continued):

- Off-street parking space shall be adequate to accommodate the parking demand generated by the home occupation.
- Commercial signage shall be limited to one (1) unlighted sign not over one (1) square foot in area attached flat against the dwelling.
- An average of no more than twenty-five (25) percent of the floor area of the dwelling unit shall be devoted to the home occupation.
- No mechanical, electrical, or other equipment which produces noise, electrical or magnetic interference, vibration, heat, glare, or other nuisance outside the residential or accessory structure.
- No home occupation shall be noxious, offensive, or hazardous due to vehicular traffic generation or emission of noise, vibration, smoke, dust or other particulate matter, odorous matter, heat, humidity, glare, refuse, radiation, or other objectionable emissions.
- Shall not cause an adverse impact on the neighborhood, as determined by the Zoning Administrator.

LANDSCAPING STANDARDS

Current Minimum Tree Requirements

- Multiple Residence District
 - 1 tree per 40 feet of street frontage
 - 6% of parking lot area
- Office Building District
 - 1 tree per 40 feet of street frontage
 - 1 tree per every 3,000 sq. ft. of open space
 - 6% of parking lot area
- Retail Business
 - 1 tree per 40 feet of street frontage
 - 1 tree per every 3,000 sq. ft. of open space
 - 6% of parking lot area



Do we want to add shrubs and grasses?

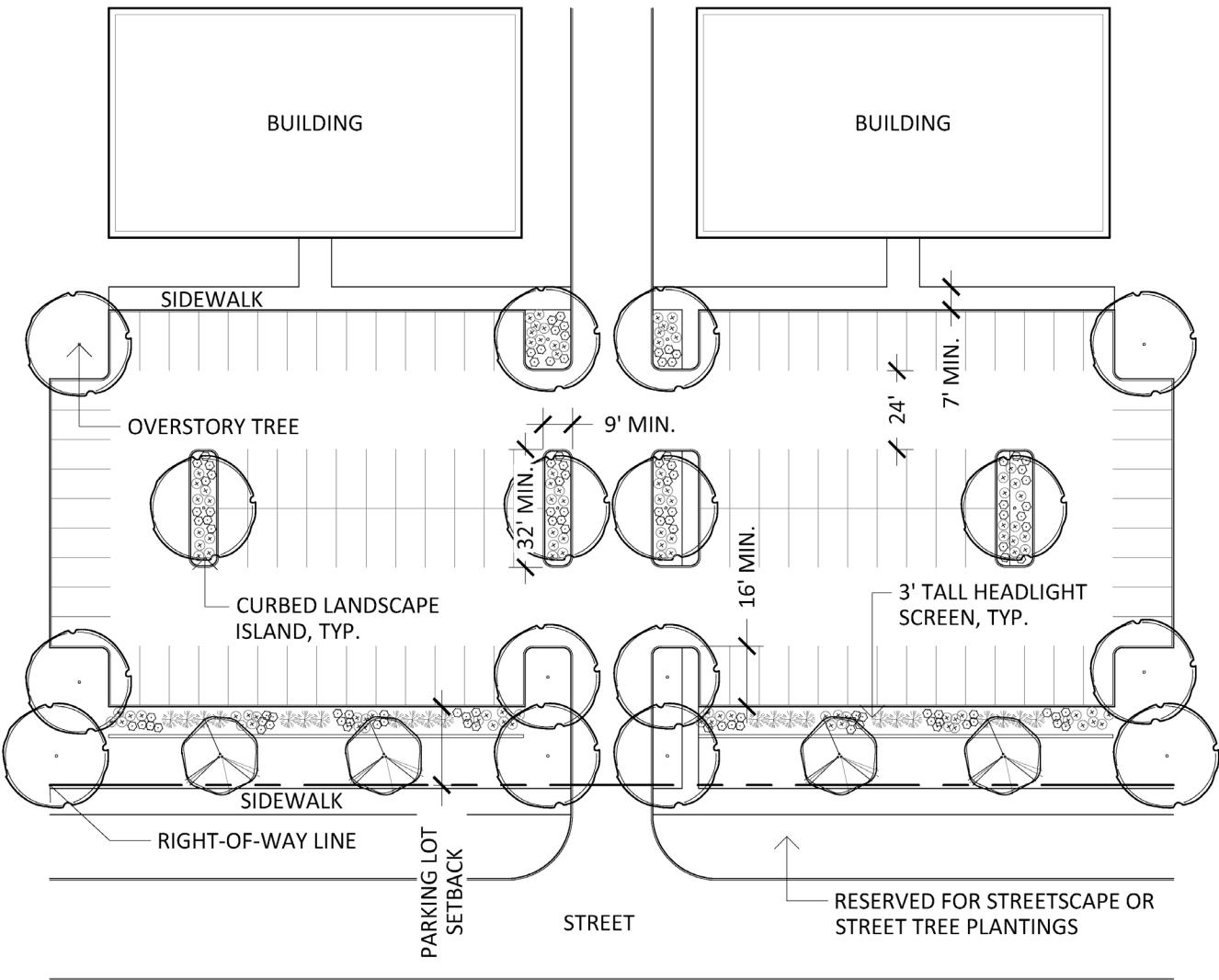
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Do we want to make this standard more specific?

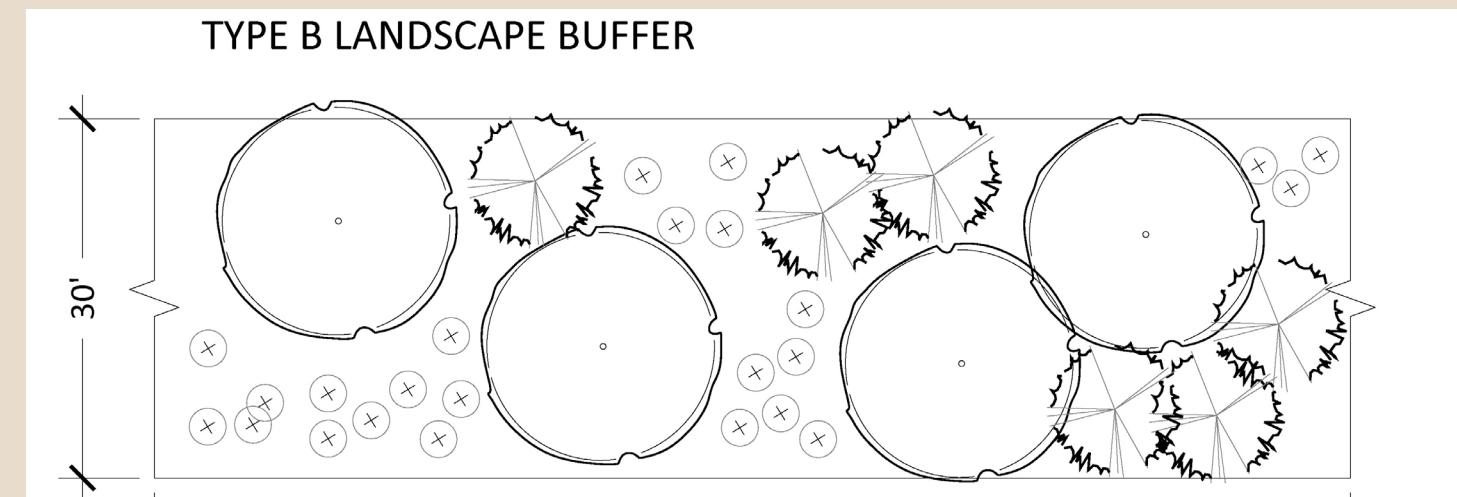
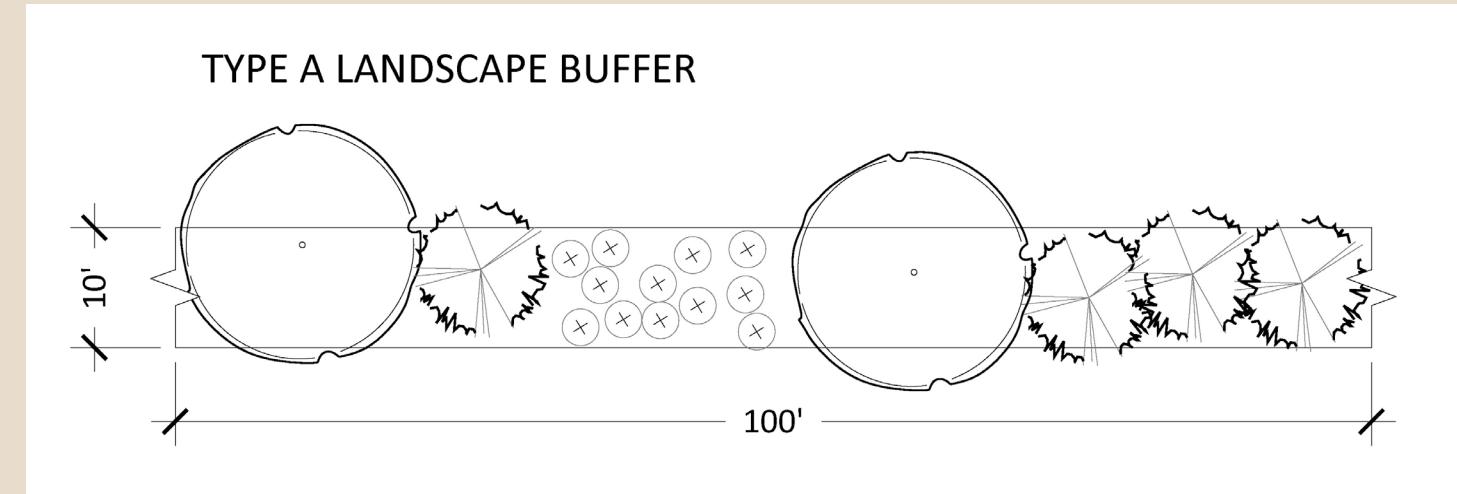
PARKING LOT LANDSCAPING



LANDSCAPING STANDARDS

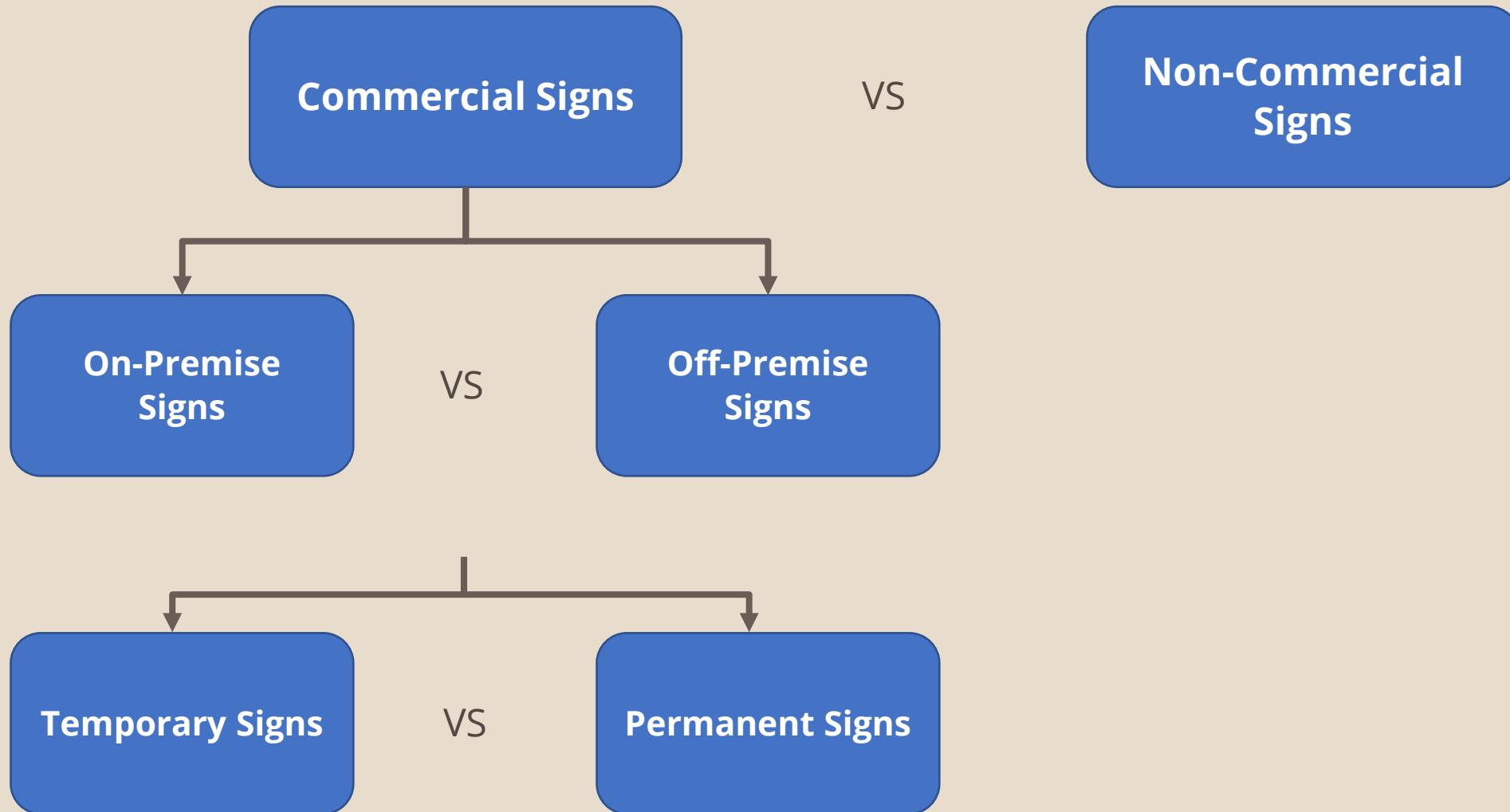
Buffering

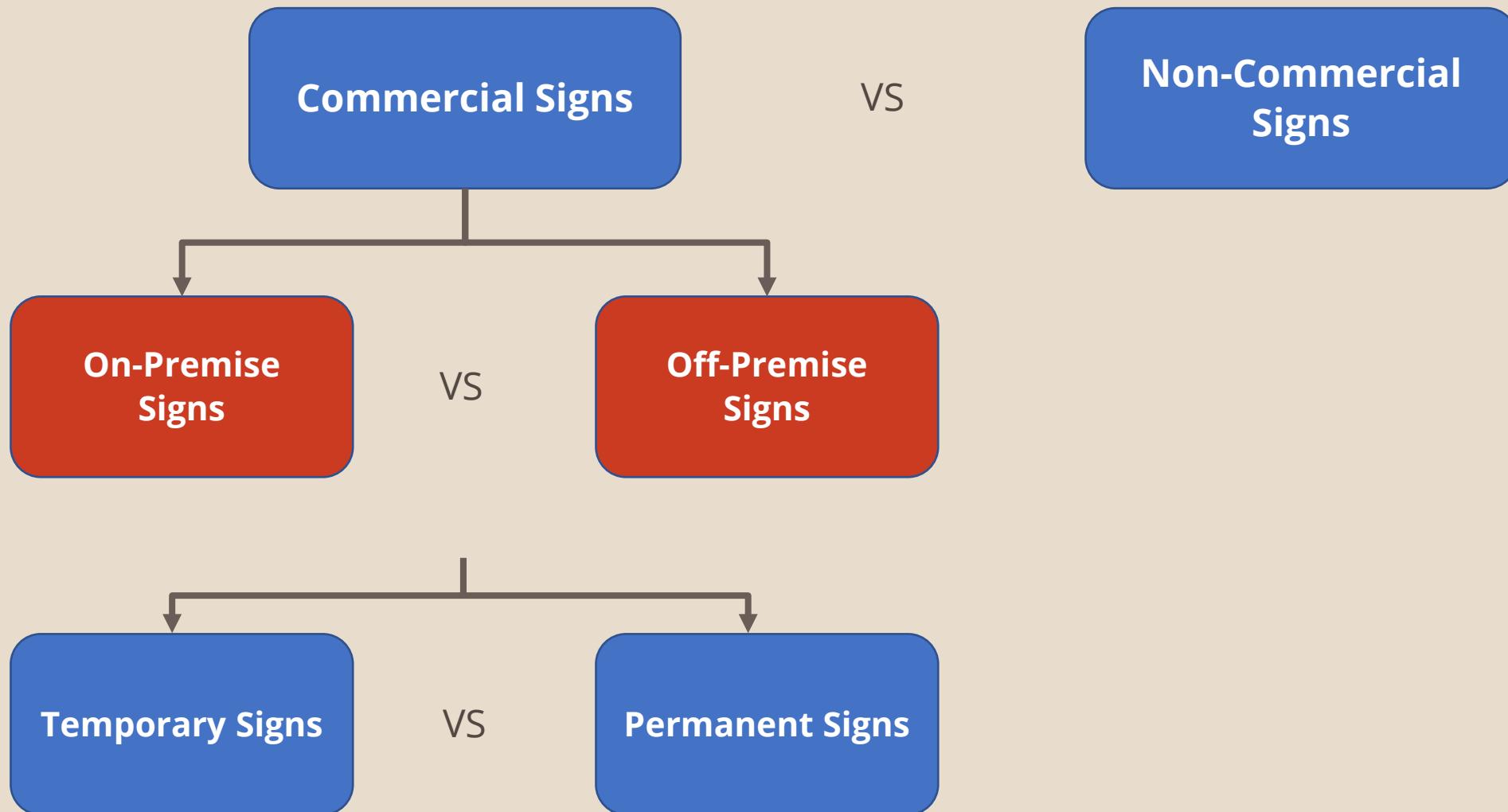
- Should we add a specific landscape buffer requirement between incompatible land uses?



SIGN REGULATIONS





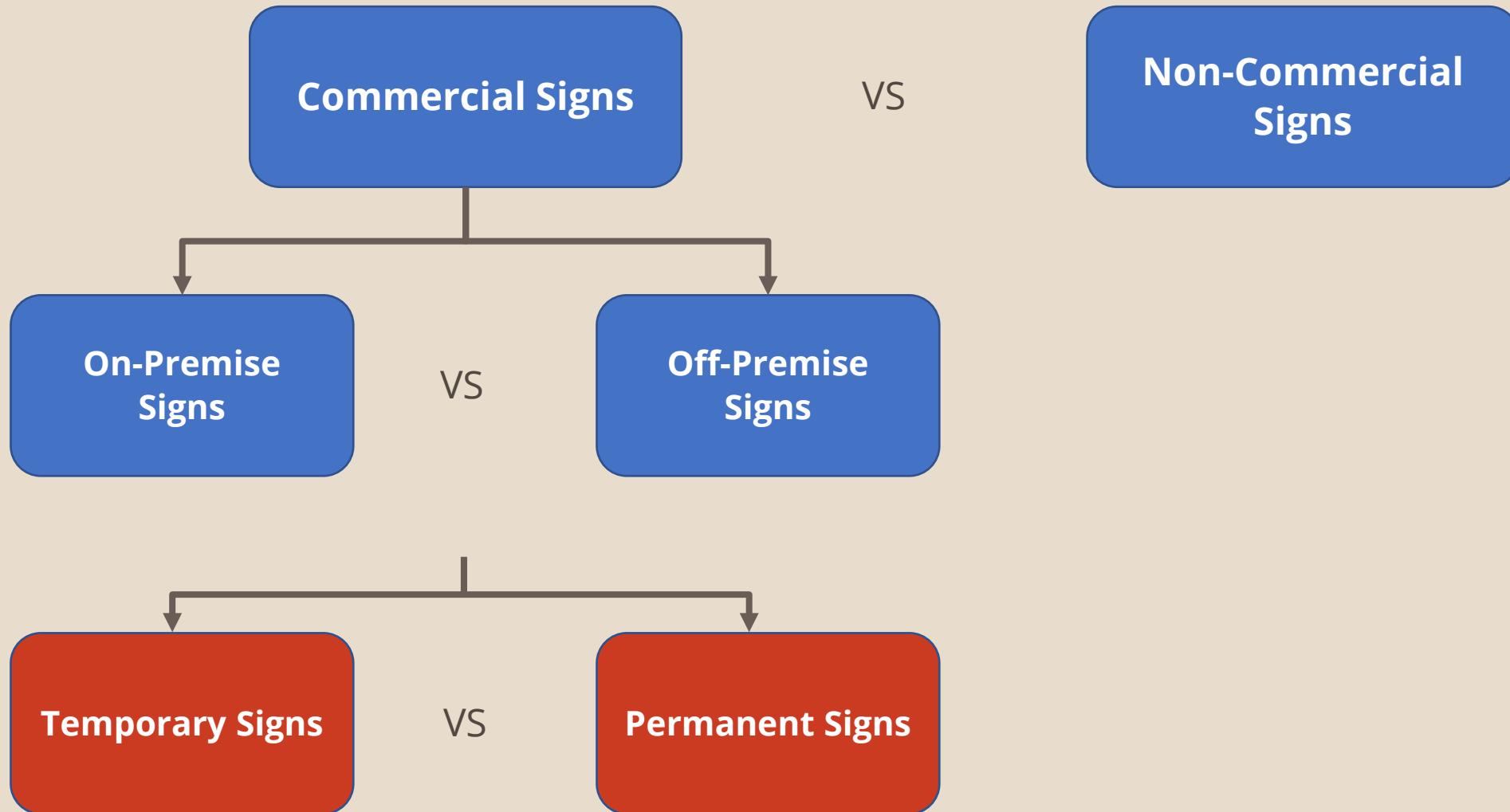


On-Premise vs Off-Premise



On-Premise vs Off-Premise





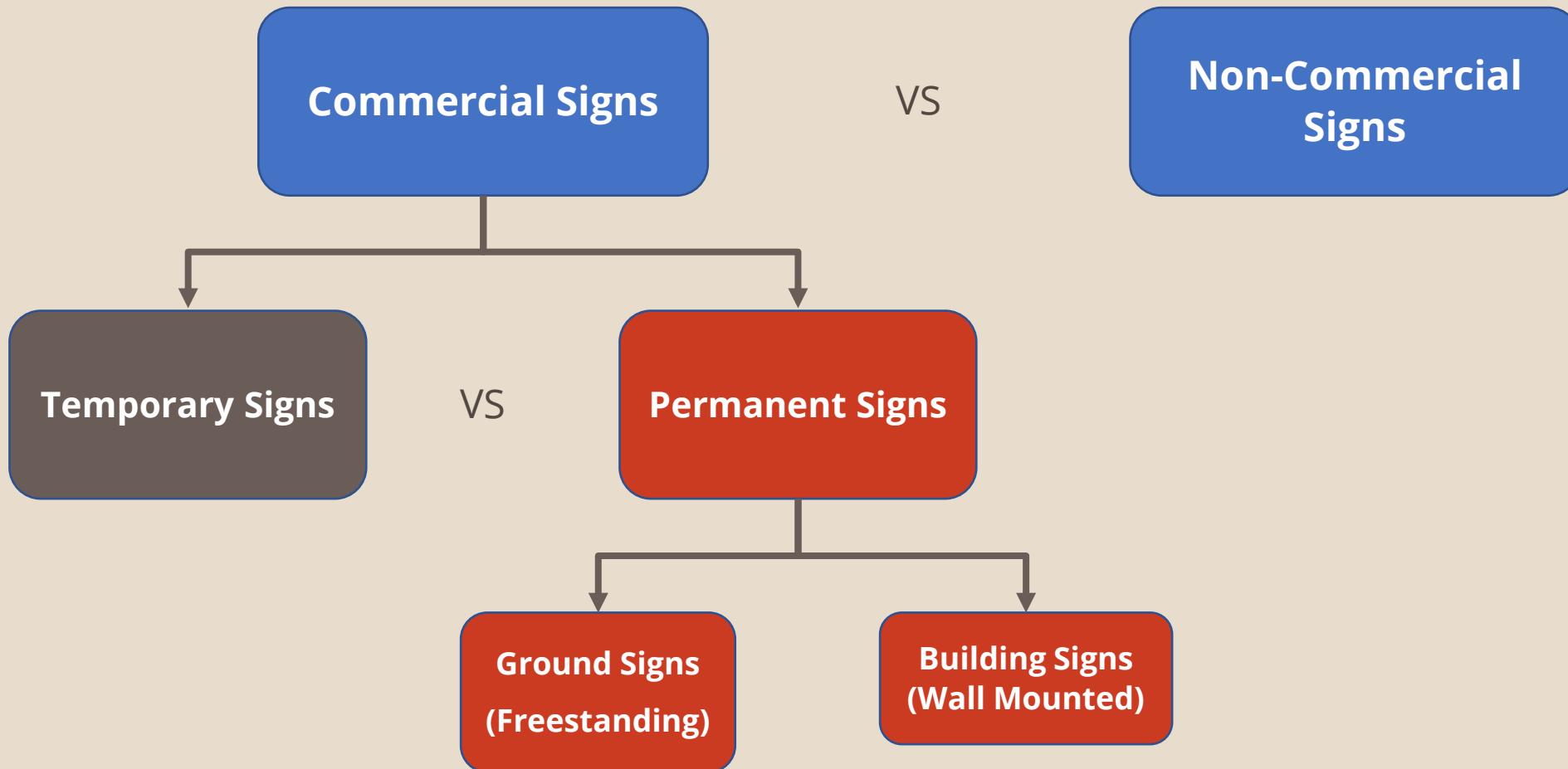
Temporary Signs



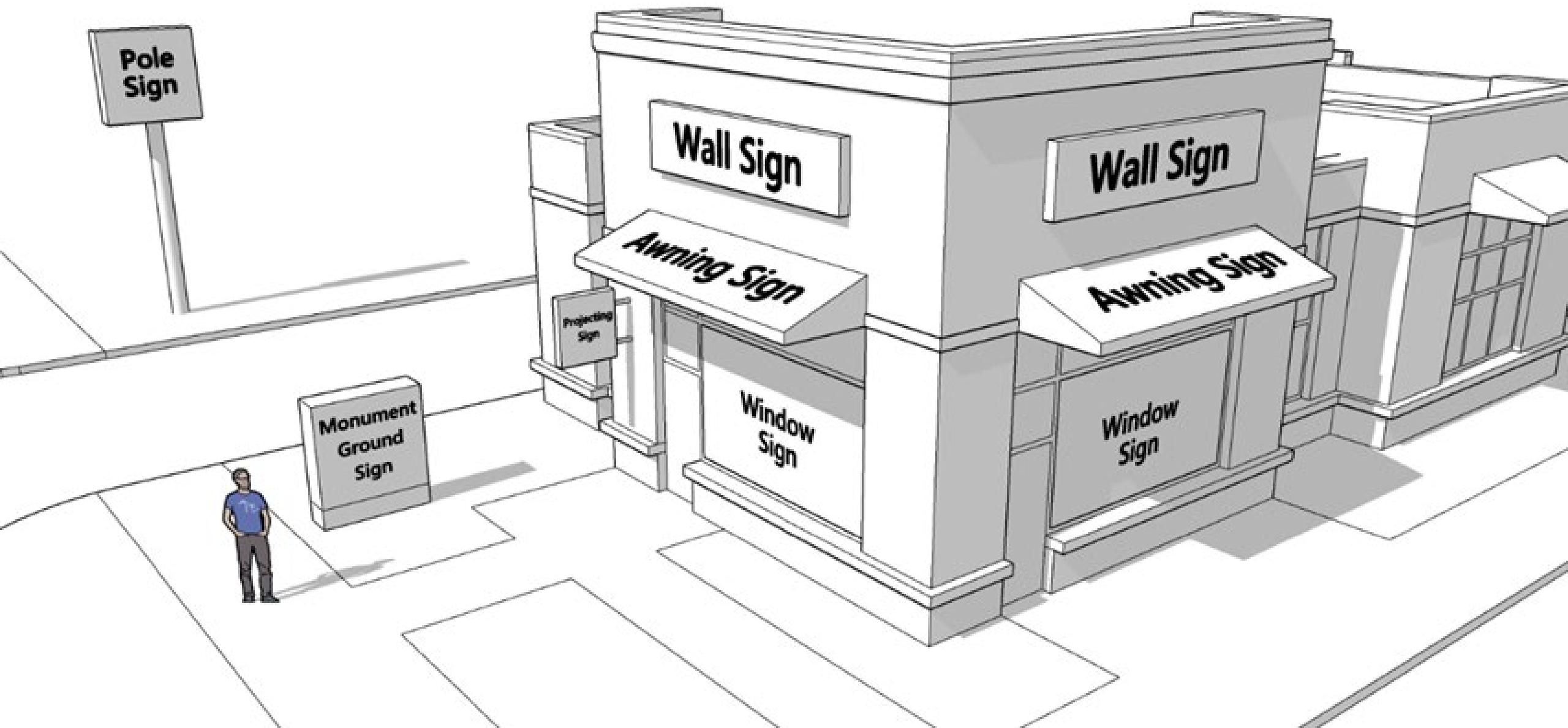
Other Temporary Signs



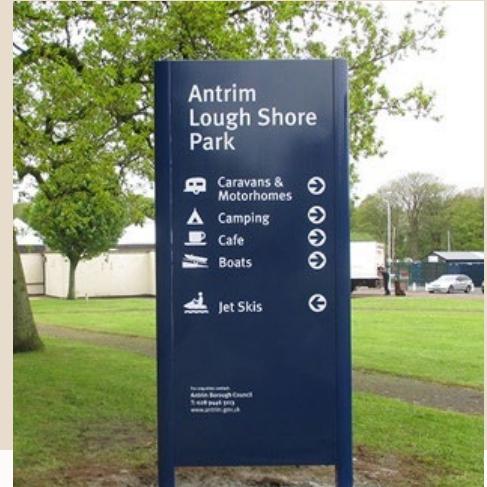
Permanent Signs



Permanent Signs



Ground Signs

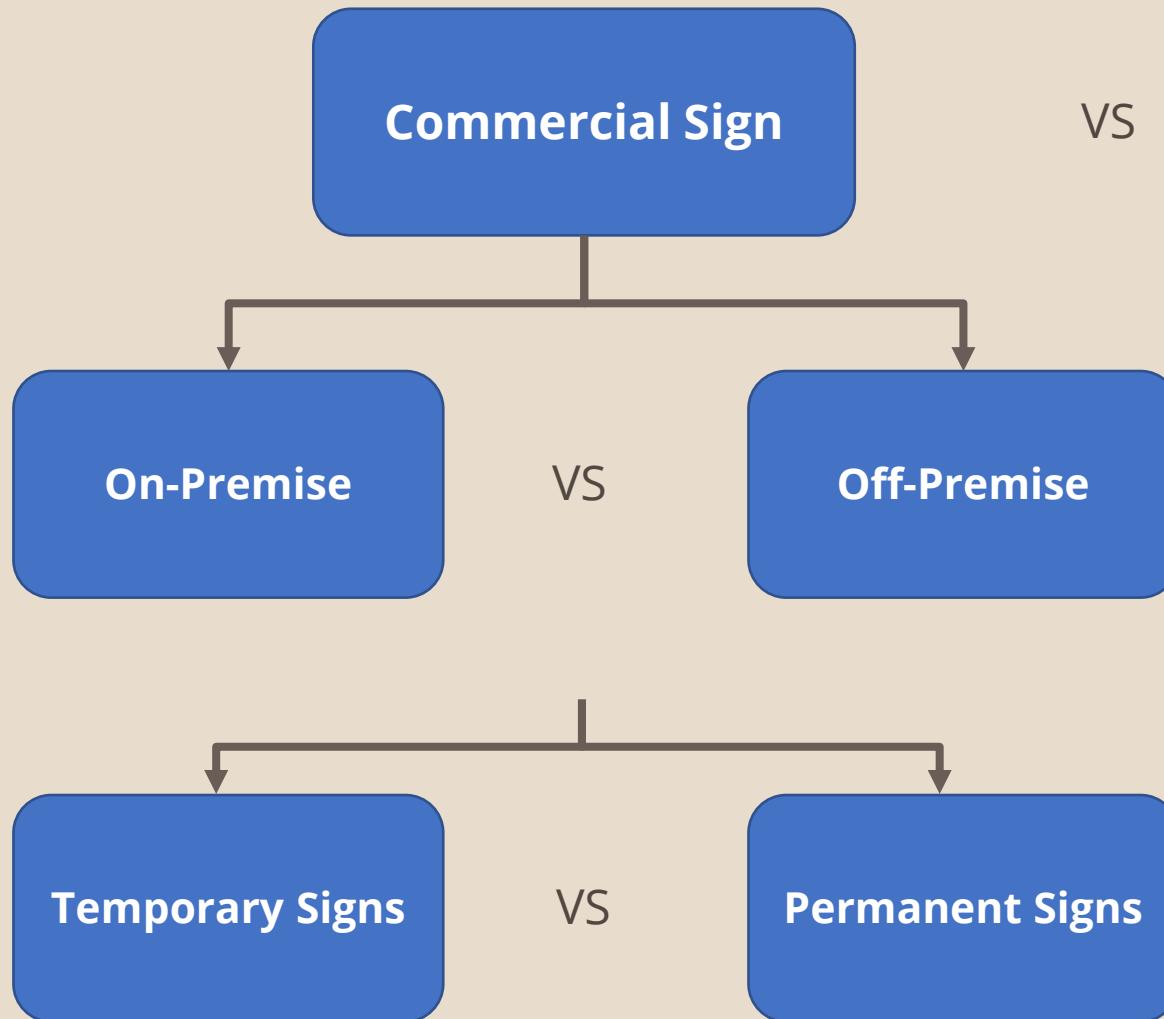


Building Signs



Changeable Copy and Electronic Message Centers (Digital Signs)





Non-Commercial
Signs
(Political / Ideological)



SIGN REGULATIONS

Is our current code too restrictive, not restrictive enough, or just right?

How do we want to regulate temporary signs including political signs?

How about changeable copy / electronic message signs?

Other sign related comments?

CODE UPDATE

OTHER QUESTIONS OR COMMENTS?

- Code Definitions
- Zoning District Regulations
- Design Guidelines
- Accessory Structures (garages, sheds, fences, etc.)
- Sign Regulations
- Landscaping and Screening Standards
- Subdivision Regulations for Townhome Development (postage stamp lots)

NEXT STEPS

NEXT STEPS

Presentation to City Council – Monday, Nov 20th

Complete draft code update

Review by Planning Commission and City Council - TBD